



## STAFF REPORT

Approved and forwarded to City Council

  
Bryan H. Montgomery, City Manager

**Date:** February 24, 2015  
**To:** Bryan H. Montgomery, City Manager  
**From:** Kenneth W. Strelow, Senior Planner  
**SUBJECT:** Cedar Glenn Estates Design Review (DR 09-14)

### Summary

This is a request by John Kiper of Kiper Development Inc. ("Applicant") for design review approval of house plans and architecture, and a development plan (neighborhood plotting plan) for 20 entitled lots located within proposed Final Map 9104 (approved Tentative Map 9104) on the property known as "Cutino Property." The 4.74 acre project is located north of Cedar Glenn Drive in Live Oak Ranch, and abuts the west edge of Shady Oak Community Park. The project site is zoned P-1 (Planned Development) District. APN: 034-250-008.

Staff recommends the City Council adopt the resolution approving Cedar Glenn Estates Design Review (DR 09-14), as conditioned.

### Background and Project Description

#### General Plan and Zoning

The project site is designated "Single Family Residential, High (SH)" density, which allows for a maximum density of 5.5 dwelling units per gross acre. The site is zoned P-1 (Planned Development) District, which was adopted as part of the approval for the original subdivision project titled, "Subdivision 9104-Cutino Property."

#### Existing Entitlements and Development

In 2006, Ryder Homes received the following entitlements for "Subdivision 9104-Cutino Property," all through adoption of City Council Resolution 141-06:

- Rezone from A-2 (General Agriculture) District to P-1(Planned Development) District for Single Family Residential;
- Vesting Tentative Map 9104 subdividing 4.74-acres into 20 single family residential lots; and

- Adoption of a Mitigated Negative Declaration

Project Layout

The approved Vesting Tentative Map 9104 results in two new cul-de-sacs that spur off of the north side of Cedar Glenn Drive. The easterly cul-de-sac will have six homes lining the west side of the street. The east side of the street will complete improvements along the western edge of Shady Oak Community Park. A portion of the northeast corner of the project area will be dedicated for an expansion of Shady Oak Community Park (see "Development Plan" of applicant's plans). The westerly cul-de-sac will include 14 new homes (seven on each side).

The project's P-1 District requires minimum 20 foot front yard setbacks (reduced to 15 feet for living areas), five foot side yard setbacks with an aggregate of 15 feet, 15 foot rear yard setbacks, and 10 foot street side yard setbacks. The three houses adjacent to Cedar Glenn Drive (Lots 1, 14, and 15) are 22, 22 and 20 feet from the right of way line. The two houses adjacent to the existing homes to the north (Lots 7 and 8) share side property lines with those homes and are 22 and 25 feet from those respective property lines. Also, all homes are at least 15 feet apart from an adjacent home.

Proposed Design Review Plans

Complete design review plans are attached for reference. There are 20 lots approved with the existing tentative map. Out of those 20 lots, there will be four floor plans, including one 1-story and three 2-story plans. Table 1 provides a summary of the proposed plans.

Table 1. Summary of Proposed House Plans.

	<i>Livable Square Feet</i>	<i>Beds/Baths (w/ options)</i>	<i>No. of Floors</i>	<i>California Room/Expanded Master Option</i>	<i>Garage Spaces Standard</i>
<b>Plan 1</b>	2,331	4/3	1	Yes/Yes	2
<b>Plan 2</b>	2,702	5/3	2	Yes/No	2
<b>Plan 3</b>	2,904	5/3	2	Yes/No	3 (tandem) or 2 w/ expanded great room
<b>Plan 4</b>	3,282	6/4	2	Yes/No	3 (tandem)

All four floor plans share the same three options for architectural elevations. Plan A ("Traditional") features flat concrete tile roofing, horizontal siding on gables, stucco exterior walls, and brick veneer accents. Plan B ("Cottage") includes the same roofing and stucco exterior as Plan A, but with board and batten siding on the gables and stone veneer (rather than brick) accents. Plan C ("Tuscan") uses S-tile, rather than flat, concrete roofing,

replaces front gables with hip elements, also includes stucco exterior walls, and uses a different style stone veneer accent than Plan B. Figure 1 shows the Street Scene provided on the applicant's plans.

Figure 1. Street Scene.



### Environmental Review

The request for design review approval does not constitute changes to the physical impacts associated with, and falls within the scope of, the adopted "Subdivision 9104 – Cutino Property" Mitigated Negative Declaration (SCH# 2006092007).

### Analysis

The project plans were analyzed for consistency with the adopted [City of Oakley Residential Guidelines](#) ("Guidelines"). Since, the Vesting Tentative Map was previously analyzed and approved, Staff has focused this analysis on residential siting and lot design of the neighborhoods, and architectural character and details of each house.

### Residential Siting and Lot Design

Overall, the applicant has taken into account many of the residential guidelines when plotting and designing the homes, and varying setbacks, resulting in a diverse and interesting streetscape. Staff analyzed the variation in setbacks for front yards and between adjacent homes on side yards. The home footprints are designed in a manner that provides front yard setback variations between 15 feet and approximately 25 feet for living areas. This variation in front yard setbacks and house designs will help avoid long, straight "walls" of buildings along the street frontages and create visual interest within the front yards. The homes are plotted so that no two homes are closer than 15 feet from each other. Doing this not only provides for ample space between adjacent footprints, but also compliance with the Residential Guideline that adjacent two-story elements be at least 15 feet apart.

The Oakley Residential Guidelines require at least 20% of a subdivision's homes and 50% of the corner lots be 1-story designs. The proposed development plan includes 25% 1-story

homes (Plan 1), and two out of three corner lots with the one-story home. Therefore, the guideline is sufficiently implemented.

Building mass is an element of lot siting and design. The covered porches, projecting architectural elements, and varying roof plans within the same footprints all add to the diversity of the house styles. Corner lot driveways are located on the interior side of the lots, and at least 25 feet from the curb returns on Cedar Glenn Drive. Overall, the applicant has taken into account many of the residential guidelines when plotting and designing the homes, and varying setbacks, resulting in a diverse and interesting streetscape.

### Architectural Character

The architectural character and design of the proposed homes have several consistencies with the guidelines. The homes include window muntins, different exterior siding or veneer for gables, porches, and some garage elements, and false shutters on some windows. However, there has been a trend by home builders to enhance only the front elevations of homes with some of those enhancements carried over to "visible" sides or the rear of the home in order to save cost. Staff has been working with developers and architects to carry these design elements over to all four sides of the homes, especially for second story elements. In order to remain consistent the Residential Guidelines and with recent design review approvals and "360 degree" architecture, Staff recommends the Council adopt conditions of approval requiring:

- Final house designs to include window muntins with the same design as the respective front elevation on all second story elevation windows for all homes;
- Final house designs to include full gable siding with the same design as the respective front elevation on side and rear gables as follows: Plan 2A (rear), Plan 2B (sides and rear), Plan 3B (sides), and Plan 4B (sides).
- Final house designs to include false shutters on appropriate windows on all second story side and rear elevations.

With the implementation of the proposed conditions, the house designs will meet the intent of the Residential Guidelines. The impact will result in added window muntins and shutters to 15 of the 20 homes, and added gable siding to six of the 20 homes. These additional design elements will increase the architectural interest of the homes not only from all public view angles, but also to residents within and adjacent to the new development, resulting in a higher quality product design.

### Findings

Draft findings are included in the attached resolution.

Subject: Cedar Glenn Estates Design Review (DR 09-14)  
Date: February 24, 2015  
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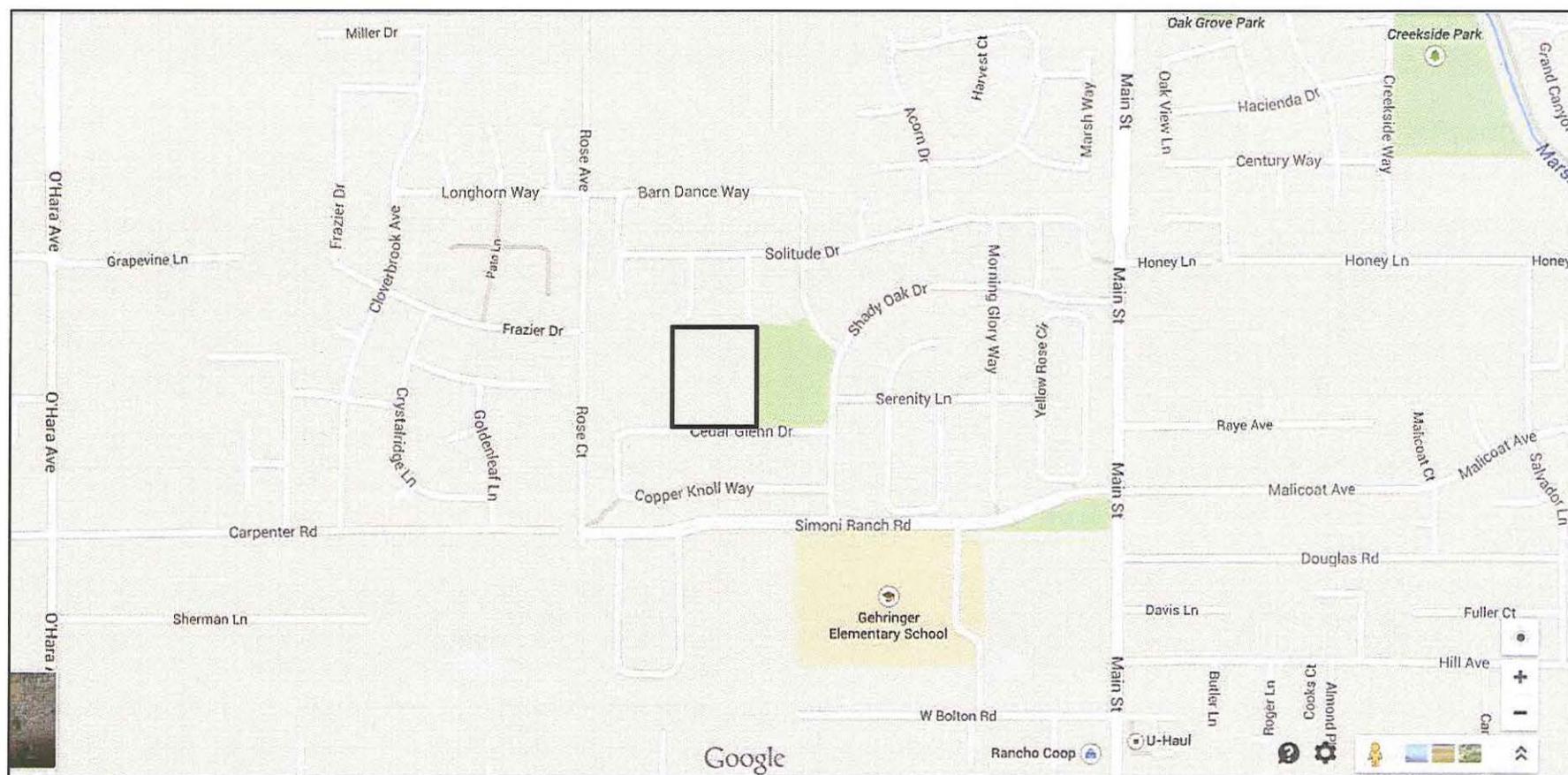
### **Recommendation**

Staff recommends the City Council adopt the resolution approving Cedar Glenn Estates Design Review (DR 09-14), as conditioned.

### **Attachments**

1. Vicinity Map
2. Public Hearing Notice
3. Applicant's Plans
4. Draft Resolution

VICINITY MAP  
Cedar Glenn Estates Design Review (DR 09-14)  
(APN 034-250-008)





City of Oakley  
3231 Main Street  
Oakley, CA 94561  
[www.oakleyinfo.com](http://www.oakleyinfo.com)

## NOTICE OF PUBLIC HEARING

Notice is hereby given that on February 24, 2015 at 6:30 p.m., or as soon thereafter as the matter may be heard, the City Council of the City of Oakley will hold a Public Hearing at the Council Chambers located at 3231 Main Street, Oakley, CA 94561 for the purposes of considering an application for design review approval.

**Project Name:** Cedar Glenn Estates Design Review (DR 09-14).

**Project Location:** The project is located north of Cedar Glenn Drive in Live Oak Ranch, and abuts the west edge of Live Oak Ranch Neighborhood Park. APN: 034-250-008.

**Applicant:** John Kiper of Kiper Development Inc., 1646 N. California Blvd. Suite #680, Walnut Creek, CA 94596. (925) 648-8888; [jkiper@kiperinc.com](mailto:jkiper@kiperinc.com)

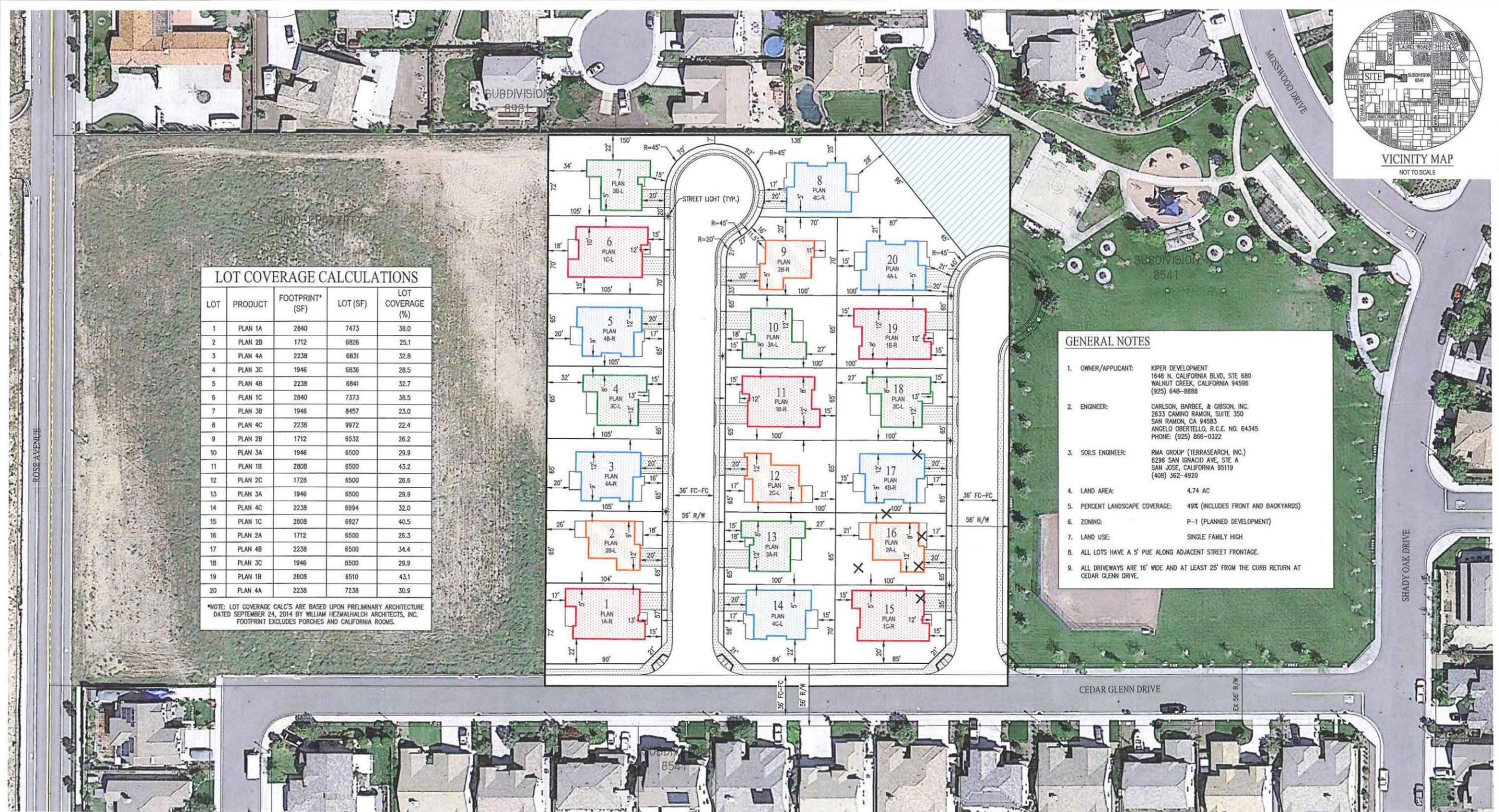
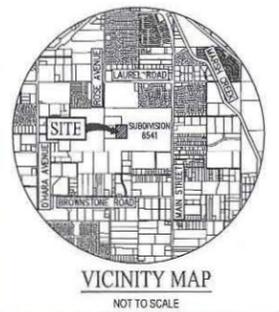
**Request:** This is a public hearing on a request for design review approval of house plans and architecture, and a development plan (neighborhood plotting plan) for 20 entitled lots located within proposed Final Map 9104 (approved Tentative Map 9104) on the property known as "Cutino Property." The project site is zoned P-1 (Planned Development) District.

**California Environmental Quality Act (CEQA):** Approval of this design review falls within the scope of the previously adopted Mitigated Negative Declaration for "Subdivision 9104 – Cutino Property" (SCH#: 2006092007).

The Staff Report and its attachments will be available for public review, on or after February 20, 2015 at City Hall, 3231 Main Street, Oakley, CA 94561 or on the City's website [www.oakleyinfo.com](http://www.oakleyinfo.com).

Interested persons are invited to submit written comments prior to and may testify at the public hearing. **Written comments may be submitted to Ken Strelo, Senior Planner at the City of Oakley, 3231 Main Street, Oakley, CA 94561 or by email to [strelo@ci.oakley.ca.us](mailto:strelo@ci.oakley.ca.us).**

**NOTICE IS ALSO GIVEN** pursuant to Government Code Section 65009(b) that, if this matter is subsequently challenged in Court by you or others, you may be limited to raising only those issues you or someone else has raised at a Public Hearing described in this notice or in written correspondence delivered to the City of Oakley City Council Secretary at, or prior to, the Public Hearing.



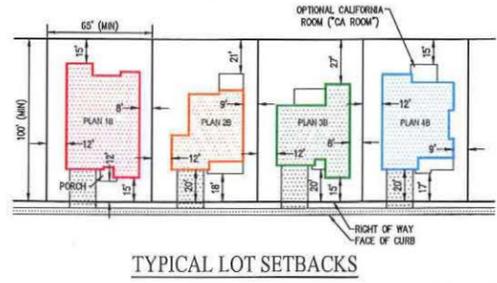
**LOT COVERAGE CALCULATIONS**

LOT	PRODUCT	FOOTPRINT* (SF)	LOT (SF)	LOT COVERAGE (%)
1	PLAN 1A	2840	7473	38.0
2	PLAN 2B	1712	6826	25.1
3	PLAN 4A	2238	6831	32.8
4	PLAN 3C	1946	6836	28.5
5	PLAN 4B	2238	6841	32.7
6	PLAN 1C	2840	7373	38.5
7	PLAN 3B	1946	8457	23.0
8	PLAN 4C	2238	9972	22.4
9	PLAN 2B	1712	6532	26.2
10	PLAN 3A	1946	6500	29.9
11	PLAN 1B	2808	6500	43.2
12	PLAN 2C	1728	6500	26.6
13	PLAN 3A	1946	6500	29.9
14	PLAN 4C	2238	6994	32.0
15	PLAN 1C	2808	6927	40.5
16	PLAN 2A	1712	6500	26.3
17	PLAN 4B	2238	6500	34.4
18	PLAN 3C	1946	6500	29.9
19	PLAN 1B	2808	6510	43.1
20	PLAN 4A	2238	7238	30.9

\*NOTE: LOT COVERAGE CALC'S ARE BASED UPON PRELIMINARY ARCHITECTURE DATED SEPTEMBER 24, 2014 BY WILLIAM HEZMALHALCH ARCHITECTS, INC. FOOTPRINT EXCLUDES PORCHES AND CALIFORNIA ROOMS.

**GENERAL NOTES**

- OWNER/APPLICANT: KIPER DEVELOPMENT  
1646 N. CALIFORNIA BLVD, STE 680  
WALNUT CREEK, CALIFORNIA 94596  
(925) 848-8888
- ENGINEER: CARLSON, BARBEE, & GIBSON, INC.  
2633 CAMINO RAMON, SUITE 350  
SAN RAMON, CA 94583  
ANGELO OBERTELLO, R.C.E. NO. 64345  
PHONE: (925) 866-0322
- SOILS ENGINEER: RMA GROUP (TERRASEARCH, INC.)  
6296 SAN IGNACIO AVE, STE A  
SAN JOSE, CALIFORNIA 95119  
(408) 352-4920
- LAND AREA: 4.74 AC
- PERCENT LANDSCAPE COVERAGE: 49% (INCLUDES FRONT AND BACKYARDS)
- ZONING: P-1 (PLANNED DEVELOPMENT)
- LAND USE: SINGLE FAMILY HIGH
- ALL LOTS HAVE A 5' PUE ADJACENT STREET FRONTAGE.
- ALL DRIVEWAYS ARE 16' WIDE AND AT LEAST 25' FROM THE CURB RETURN AT CEDAR GLENN DRIVE.



**LEGEND**

- PROJECT BOUNDARY
- PROPOSED LOT LINE
- PROPOSED RIGHT-OF-WAY
- PROPOSED FACE OF CURB
- PROPOSED NEIGHBORHOOD PARK
- X EXISTING TREE TO BE REMOVED

**PRODUCT MIX**

ELEV	A	B	C	TOTAL	% OF TOTAL
PLAN 1	1	2	2	5	25
PLAN 2	1	2	1	4	20
PLAN 3	2	1	2	5	25
PLAN 4	2	2	2	6	30
TOTAL	6	7	7	20	100

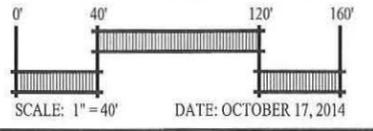
**LAND USE TABLE**

AREA (AC)	# OF LOTS	DENSITY
4.74	20	4.22

MINIMUM LOT SIZE = 6,500 SF

**CUTINO PROPERTY DEVELOPMENT PLAN**

CITY OF OAKLEY CONTRA COSTA COUNTY CALIFORNIA



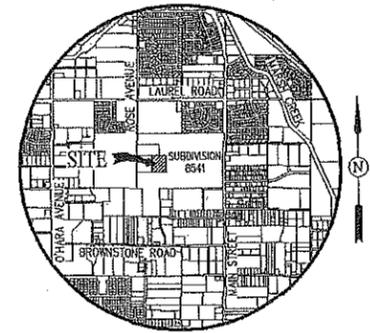
**cbg** Carlson, Barbee & Gibson, Inc.  
CIVIL ENGINEERS • SURVEYORS • PLANNERS

2633 CAMINO RAMON, SUITE 350  
SAN RAMON, CALIFORNIA 94583

(925) 866-0322  
www.cbng.com

# CUTINO PROPERTY GRADING PLAN SUBDIVISION 9104

CITY OF OAKLEY CONTRA COSTA COUNTY, CALIFORNIA



VICINITY MAP  
NOT TO SCALE

**GENERAL NOTES:**

- OWNER/SUBDIVIDER: KIPER DEVELOPMENT  
1646 N. CALIFORNIA BLVD, STE 680  
WALNUT CREEK, CALIFORNIA 94596  
PHONE: (925) 648-8888  
CONTACT: JOHN KIPER
- CIVIL ENGINEER: CARLSON, BARBEE & GIBSON, INC.  
2633 CAMINO RAMON, SUITE 150  
SAN RAMON, CALIFORNIA 94583  
PHONE: (925) 866-0322  
CONTACT: ANGELO OBERTELLO
- SOILS ENGINEER: NEIL O. ANDERSON & ASSOCIATES  
5051 COMMERCIAL CIRCLE, UNIT B  
CONCORD, CA 94520  
PHONE: (925) 609-7224  
CONTACT: RYAN KING
- BENCH MARK:** CONTRA COSTA COUNTY BENCHMARK # 508 "W. 484, 1951"  
U.S.G.S. BRONZE DISK SET IN THE TOP OF A CONCRETE POST IN THE  
NORTHWEST CORNER OF THE INTERSECTION OF WEST BOLTON ROAD AND STATE  
ROUTE 4 (MAIN STREET).  
ELEVATION: 43.14 (NGVD 29)  
PROJECT SITE APN'S: 034-250-008
- THE ENGINEER ASSUMES NO RESPONSIBILITY BEYOND THE ADEQUACY OF HIS OR  
HER DESIGN CONTAINED HEREIN.
- SHOULD IT APPEAR THAT THE WORK TO BE DONE, OR ANY MATTER RELATIVE  
THERE TO, IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, THE  
CONTRACTOR SHALL CONTACT ANGELO OBERTELLO WITH CARLSON, BARBEE &  
GIBSON, INC. AT (925) 866-0322 FOR SUCH FURTHER EXPLANATION AS MAY  
BE NECESSARY.
- CITY OF OAKLEY OR CONTRA COSTA COUNTY STANDARD DRAWINGS AND  
SPECIFICATIONS, SPECIFIC NOTES AND DETAIL DRAWINGS HEREON AND IN THE  
SOILS REPORT, TAKE PRECEDENCE OVER GENERAL DRAWINGS AND PLANS  
UNLESS OTHERWISE DIRECTED BY THE ENGINEER. ANY DEVIATION FROM THE  
APPROVED PLANS DURING CONSTRUCTION WILL REQUIRE TWO (2) WORKING DAYS  
PRIOR NOTICE TO THE ENGINEER AND APPROVAL BY THE CITY ENGINEER. AT  
LEAST ONE (1) SET OF APPROVED PLANS SHALL BE KEPT ON THE SITE AT ALL  
TIMES FOR INSPECTION.
- ALL REVISIONS TO THIS PLAN MUST BE REVIEWED BY THE PUBLIC WORKS AND  
ENGINEERING DIVISION PRIOR TO CONSTRUCTION AND SHALL BE ACCURATELY  
SHOWN ON REVISED PLANS STAMPED AND DISTRIBUTED PRIOR TO ACCEPTANCE  
OF WORK AS COMPLETE.
- CONTRACTOR AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR  
JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT,  
INCLUDING SAFETY OF ALL PERSONS AND PROPERTY THAT THIS REQUIREMENT  
SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS,  
AND THE CONSTRUCTION CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD  
THE OWNER, THE ENGINEER, AND THE CITY OF OAKLEY HARMLESS FROM ANY  
AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE  
OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE  
NEGLECT OF THE OWNER, OR THE ENGINEER OR THE CITY OF OAKLEY.
- THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ANY WORK DONE FROM PLANS  
THAT ARE NOT APPROVED BY THE CITY OF OAKLEY. ALL CORRECTIVE ACTION  
RESULTING FROM CHANGES TO THE PLANS PRIOR TO APPROVAL IS THE  
RESPONSIBILITY OF THE DEVELOPER.
- EXCAVATIONS SHALL BE ADEQUATELY SHORED, BRACED, AND SHEETED SO THAT  
THE EARTH WILL NOT SLIDE OR SETTLE AND SO THAT ALL EXISTING  
IMPROVEMENTS OF ANY KIND WILL BE FULLY PROTECTED FROM DAMAGE. ANY  
DAMAGE RESULTING FROM THE LACK OF ADEQUATE SHORING, BRACING, AND  
SHEETING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND HE SHALL  
EFFECT NECESSARY REPAIRS OR RECONSTRUCTION AT HIS OWN EXPENSE.  
WHERE THE EXCAVATION FOR A CONDUIT TRENCH, STRUCTURE, AND/OR BORING  
AND JACKING PIT IS FIVE (5) FEET OR MORE IN DEPTH, THE CONTRACTOR  
SHALL CONFORM TO THE APPLICABLE CONSTRUCTION SAFETY ORDERS OF THE  
DIVISION OF INDUSTRIAL SAFETY OF THE STATE OF CALIFORNIA. THE  
CONTRACTOR SHALL ALWAYS COMPLY WITH O.S.H.A. REQUIREMENTS.
- THE CONTRACTOR SHALL COMPLY WITH ALL STATE, COUNTY, AND CITY LAWS  
AND ORDINANCES, AND REGULATIONS OF THE DEPARTMENT OF INDUSTRIAL  
RELATIONS, O.S.H.A., THE STATE OF CALIFORNIA DIVISION OF INDUSTRIAL  
CONSTRUCTION ORDERS, AND INDUSTRIAL ACCIDENT COMMISSION RELATING TO  
THE SAFETY AND CHARACTER OF WORK, EQUIPMENT, AND LABOR PERSONNEL.

- ALL CONSTRUCTION MATERIALS AND METHODS SHALL COMPLY WITH THE  
ORDINANCES, SPECIFICATIONS, AND STANDARDS OF THE CITY OF OAKLEY.
- ALL CONSTRUCTION STAKING SHALL BE DONE BY A REGISTERED CIVIL ENGINEER  
OR LICENSED LAND SURVEYOR. THE NUMBER AND LOCATION OF STAKES  
REQUIRED SHALL BE DETERMINED BEFORE CONSTRUCTION BEGINS. ALL STAKING  
REQUESTS SHALL BE DIRECTED TO THE ENGINEER A MINIMUM OF TWO (2)  
WORKING DAYS PRIOR TO ACTUAL NEED. ANY ADDITIONAL STAKING OR  
RE-STAKING WILL BE DONE ONLY AS DIRECTED AND AUTHORIZED BY THE OWNER  
OR HIS AUTHORIZED AGENT. THE CITY ENGINEER HAS THE AUTHORITY TO  
REQUIRE THE OWNER OR HIS AUTHORIZED AGENT TO PLACE ADDITIONAL STAKES  
OR RE-STAKES AS HE DEEMS NECESSARY FOR PROPER CONSTRUCTION OR TO  
AVOID CONFLICTS.
- ALL EXISTING ELEVATIONS SHOWN ARE AS MEASURED IN THE FIELD UNLESS  
OTHERWISE NOTED.
- ALL CURB DATA REFERS TO THE "FACE OF CURB" AND STATIONING REFERS TO  
THE INDICATED CENTERLINE EXCEPT WHERE SHOWN IN PARENTHESES ( ) WHERE  
THE STATIONING REFERS TO THE FACE OF CURB.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT IN PLACE (BY  
ANY MEANS NECESSARY) ALL EXISTING UTILITIES UNLESS OTHERWISE SPECIFIED  
ON THESE PLANS OR AS DIRECTED BY THE ENGINEER.
- NO TREES SHALL BE REMOVED UNLESS THEY ARE SHOWN AND NOTED TO BE  
REMOVED ON THE GRADING PLANS. IF ANY TREES ARE REMOVED, THE PLANS  
MUST BE REVIEWED AND ACKNOWLEDGED BY THE COMMUNITY DEVELOPMENT  
DEPARTMENT. ALL TREES CONFLICTING WITH GRADING, UTILITIES, OR OTHER  
IMPROVEMENTS, OR OVERHANGING THE SIDEWALK OR PAVEMENT SO AS TO FORM  
A NUISANCE OR HAZARD, SHALL BE TRIMMED, PROPERLY TREATED AND SEALED.
- ALL EXISTING WELLS LOCATED ON THE PROPERTY SHALL BE SEALED, FILLED,  
AND ABANDONED PRIOR TO THE START OF GRADING OPERATIONS, AS DIRECTED  
BY THE CITY ENGINEER AND THE COUNTY HEALTH DEPARTMENT. EXISTING  
SEPTIC TANKS, HOLDING TANKS, AND IRRIGATION LINES SHALL BE REMOVED AND  
BACKFILLED WITH ENGINEERED FILL AS DIRECTED BY THE CITY ENGINEER AND  
THE COUNTY HEALTH DEPARTMENT.
- ALL GRADING, SITE PREPARATION, AND PLACING AND COMPACTION OF FILL  
SHALL BE DONE IN ACCORDANCE WITH THE CITY OF OAKLEY GRADING  
ORDINANCE AND PER THE RECOMMENDATIONS OF THE SUBJECT SOILS REPORT,  
UNDER THE OBSERVATION OF THE CITY SOILS ENGINEER. SUBSEQUENT TO  
COMPLETION OF WORK, THE SOILS ENGINEER SHALL SUBMIT A REPORT TO THE  
CITY ENGINEER STATING THAT ALL WORK HAS BEEN DONE TO HIS SATISFACTION  
AND BEFORE UNDERGROUND WORK BEGINS.
- ROUGH GRADING AND DIRT BALANCE TO BE COMPLETED PRIOR TO PAD  
FINISHING SO THAT PADS MAY BE ADJUSTED TO FINAL BALANCE.
- IF ARCHEOLOGICAL MATERIALS ARE UNCOVERED DURING GRADING, TRENCHING,  
OR OTHER EXCAVATION; EARTHWORK WITHIN 100 FEET OF THESE MATERIALS  
SHALL BE STOPPED UNTIL A PROFESSIONAL ARCHEOLOGIST, CERTIFIED BY THE  
SOCIETY OF CALIFORNIA ARCHEOLOGY (SCA) AND/OR THE SOCIETY OF  
PROFESSIONAL ARCHEOLOGY (SOPA), HAS HAD AN OPPORTUNITY TO EVALUATE  
THE SIGNIFICANCE OF THE FIND AND SUGGEST APPROPRIATE MITIGATION  
MEASURES, IF THEY ARE DEEMED NECESSARY.
- THE CONTRACTOR SHALL SUBMIT A SCHEDULE OF ALL GRADING OPERATIONS  
AND RECEIVE APPROVAL OF SAID SCHEDULE FROM THE CITY ENGINEER PRIOR  
TO THE START OF WORK.
- NO GRADING OR RELATED WORK SHALL BE DONE PRIOR TO THE ISSUANCE OF A  
GRADING PERMIT.
- GRADING OPERATIONS SHALL ONLY BE PERMITTED BETWEEN APRIL 15 AND  
OCTOBER 15 UNLESS APPROVED BY THE CITY OF OAKLEY WITH ADEQUATE  
EROSION CONTROL. SEE THE EROSION CONTROL PLAN AND SEPARATE STORM  
WATER POLLUTION PREVENTION PLAN (SWPPP).
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REMOVE FROM THE SITE  
ALL MATERIALS RESULTING FROM THE CLEARING, GRUBBING, AND DEMOLITION  
OPERATIONS. ALL ABANDONED IRRIGATION LINES SHALL BE REMOVED FROM THE  
SITE, BACKFILLED, AND PROPERLY COMPACTED.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL  
NECESSARY UTILITY RELOCATIONS WITH THE APPROPRIATE UTILITY COMPANIES.

- THE LOCATIONS OF THE CATCH BASINS AND OTHER STORM DRAINAGE  
APPURTENANCES ARE APPROXIMATE AND ARE SHOWN FOR REFERENCE  
PURPOSES ONLY. SEE THE IMPROVEMENT PLANS FOR EXACT LOCATIONS.
- THIS SET OF PLANS IS FOR THE ROUGH GRADING OF THE SITE ONLY. ALL  
OTHER IMPROVEMENTS ARE SHOWN FOR REFERENCE PURPOSES.
- ALL WORK SHALL BE PERFORMED BETWEEN THE NORMAL WORKING HOURS OF  
7:30 AM TO 5:30 PM, MONDAY THROUGH FRIDAY, EXCLUDING SATURDAY,  
SUNDAY, AND CITY HOLIDAYS EXCEPT OTHERWISE APPROVED BY THE CITY  
ENGINEER IN WRITING.
- THE CONTRACTOR SHALL CONDUCT HIS OR HER OPERATIONS IN ACCORDANCE  
WITH THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP). A COPY OF  
THE SWPPP MUST BE KEPT ON THE SITE AT ALL TIMES.
- ALL CONSTRUCTION EQUIPMENT SHALL USE PROPERLY OPERATING MUFFLERS,  
AND NO COMBUSTION EQUIPMENT SUCH AS PUMPS OR GENERATORS SHALL BE  
ALLOWED TO OPERATE WITHIN 500 FEET OF ANY OCCUPIED RESIDENCE DURING  
CONSTRUCTION HOURS, UNLESS THE EQUIPMENT IS SURROUNDED BY A NOISE  
PROTECTION BARRIER ACCEPTABLE TO THE COMMUNITY DEVELOPMENT  
DEPARTMENT.
- ALL STREET SECTIONS SHOWN ARE FOR REFERENCE PURPOSES ONLY.
- ALL MASONRY WALL AND RETAINING WALL DETAILS AS SHOWN ON THESE PLANS  
ARE FOR REFERENCE ONLY AND ARE SUBJECT TO CITY OF OAKLEY BUILDING  
DEPARTMENT APPROVAL AND PERMIT.
- TEMPORARY SILT AND DRAINAGE CONTROL FACILITIES SHALL BE INSTALLED TO  
CONTROL AND CONTAIN EROSION CAUSED SILT DEPOSITS AND TO PROVIDE FOR  
THE SAFE DISCHARGE OF STORM WATERS INTO EXISTING STORM WATER  
FACILITIES. DESIGN OF THESE FACILITIES MUST BE APPROVED BY THE CITY  
ENGINEER AND IN PLACE PRIOR TO THE START OF GRADING.
- THE CONTRACTOR SHALL COMPLY WITH ALL RULES, REGULATIONS, AND  
PROCEDURES OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM  
(NPDES) FOR MUNICIPAL CONSTRUCTION AND INDUSTRIAL ACTIVITIES AS  
PROMULGATED BY THE CALIFORNIA STATE WATER RESOURCE CONTROL BOARD  
OR ANY OF ITS REGIONAL WATER QUALITY CONTROL BOARDS. WQID NUMBER TO  
BE ON GRADING PLAN PRIOR TO ISSUANCE OF PERMIT.
- CONTRACTOR SHALL PROVIDE FOR INGRESS AND EGRESS TO PRIVATE PROPERTY  
ADJACENT TO WORK THROUGHOUT THE PERIOD OF CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN ADEQUATE SANITARY FACILITIES AT  
THE SITE DURING ALL PHASES OF CONSTRUCTION.
- NO WORK SHALL BE PERFORMED WITHOUT INSPECTION BY THE CITY. IF ANY  
WORK THAT REQUIRES INSPECTION MUST BE PERFORMED OUTSIDE OF NORMAL  
WORKING HOURS, CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR  
INSPECTION SERVICES TO THE CITY ENGINEER TWO (2) WORKING DAYS IN  
ADVANCE OF THE TIME SUCH SERVICES WILL BE REQUIRED.
- ALL CUT, FILL AND TRENCH BACKFILL MUST BE  
TESTED UNDER THE SUPERVISION OF A LICENSED  
SOILS ENGINEER WHO WILL PROVIDE CERTIFICATION  
THAT THE WORK CONFORMS TO THE  
REQUIREMENTS OF CITY AND STATE CODES.
- SILT AND EROSION CONTROL PLANS ARE  
REQUIRED FOR WORK YEAR ROUND. SEDIMENT  
CONTROL BMP'S SHALL BE IMPLEMENTED YEAR  
ROUND.
- CONTRACTOR SHALL MAINTAIN ALL SITES OF  
WORK DURING CONSTRUCTION SO AS TO KEEP  
THEM REASONABLY NEAT AND FREE OF TRASH,  
RUBBISH, AND OTHER DEBRIS. UPON COMPLETION  
OF WORK, CONTRACTOR SHALL REMOVE FROM  
SITES OF WORK, AND FROM PUBLIC OR PRIVATE  
PROPERTY, ALL TEMPORARY STRUCTURES,  
RUBBISH AND WASTE MATERIAL, AND SHALL  
PROPERLY DISPOSE OF EXCAVATED MATERIALS  
BEYOND THAT NEEDED TO BRING THE SITE TO  
THE ELEVATIONS SHOWN.
- CONTRACTOR SHALL PROPERLY COORDINATE HIS  
WORK WITH WORK UNDER OTHER CONTRACTS  
THAT MAY BE UNDERWAY CONCURRENTLY WITH  
THIS PROJECT.

**SHEET INDEX**

1	GENERAL NOTES, SHEET INDEX, & VICINITY MAP
2	GENERAL NOTES (CONTINUED), TYPICAL STREET SECTIONS, EARTHWORK SUMMARY, DETAILS, & PAVEMENT DESIGN CHART
3	GRADING PLAN
4	EROSION CONTROL PLAN, DETAILS, & NOTES

**WDID #5S07C371127**

THIS PLAN HAS BEEN REVIEWED BY NEIL O. ANDERSON AND ASSOCIATES AND APPEARS TO BE  
IN GENERAL CONFORMANCE WITH THE RECOMMENDATIONS OF RMA GROUP'S REPORT DATED  
AUGUST 17, 2006. WE MAKE NO REPRESENTATIONS AS TO ACCURACY OF DIMENSIONS,  
MEASUREMENTS, CALCULATIONS, OR ANY PORTION OF DESIGN.

*Ryan R. King, P.E.* 11/18/2014  
DATE

REVIEWED FOR CONFORMANCE WITH CITY OF OAKLEY STANDARDS AND REQUIREMENTS.  
APPROVAL FOR CONSTRUCTION IS SUBJECT TO THE INFORMATION SHOWN HEREIN. THE CITY  
OF OAKLEY AND THE UNDERSIGNED ARE NOT RESPONSIBLE FOR ANY ERRORS OR  
OMISSIONS THAT MAY EXIST ON THESE PLANS.

*Kourosch Rohani* 11-18-14  
DATE  
KOUROSH ROHANI, CITY ENGINEER  
RCE 61138

DESIGNED UNDER THE DIRECTION OF:  
*Angelo Oberello* 11/11/2014  
DATE  
ANGELO OBERTELLO  
R.C.E. No. 64845  
DESIGN: KEJ DATE: NOVEMBER, 2014  
DRAWN: KEJ DATE: NOVEMBER, 2014  
CHECKED: AJO DATE: NOVEMBER, 2014

**REGISTERED PROFESSIONAL ENGINEER**  
ANGELO OBERTELLO  
64845  
CIVIL  
STATE OF CALIFORNIA

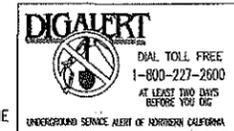
SHEET  
**1**  
OF  
**4**  
SHEETS



**cbg** Carlson, Barbee & Gibson, Inc.  
CIVIL ENGINEERS • SURVEYORS • PLANNERS  
2633 CAMINO RAMON, SUITE 150  
SAN RAMON, CALIFORNIA 94583  
TEL: (925) 866-0322  
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**CUTINO PROPERTY**  
**GENERAL NOTES, SHEET INDEX, & VICINITY MAP**  
**CITY OF OAKLEY**  
**SUBDIVISION 9104**  
**CALIFORNIA**

NO.	REVISIONS	BY	APP	DATE



**GENERAL NOTES:**

(CONTINUED FROM SHEET 1)

- 56. RETAINING WALLS WITHIN THE PUBLIC ROAD RIGHT-OF-WAY SHALL BE MASONRY AND BE INSPECTED BY THE PUBLIC WORKS AND ENGINEERING DIVISION.
  - 57. A BUILDING PERMIT SHALL BE REQUIRED FOR RETAINING WALLS OUTSIDE OF PUBLIC ROAD RIGHT-OF-WAY THAT ARE 4 FT. OR HIGHER (3 FT. OR HIGHER WITH SURCHARGE). PRIOR TO ACCEPTANCE OF THE IMPROVEMENTS AS COMPLETE, VERIFICATION THAT THE BUILDING DIVISION HAS SIGNED OFF ON THE PERMIT SHALL BE PROVIDED TO THE CONSTRUCTION INSPECTOR.
  - 58. RETAINING WALLS UNDER 4 FT. HIGH (UNDER 3 FT. HIGH WITH SURCHARGE) OUTSIDE OF PUBLIC ROAD RIGHT-OF-WAY WILL BE INSPECTED BY PROJECT GEOTECHNICAL ENGINEER. A LETTER STATING THAT ALL WALLS WERE CONSTRUCTED IN ACCORDANCE WITH THE STRUCTURAL AND SOILS ENGINEERS' RECOMMENDATIONS, IF APPLICABLE, MUST BE SUBMITTED TO THE PUBLIC WORKS AND ENGINEERING DIVISION.
  - 59. ALL RELATIVE COMPACTION TESTS OF SUB-GRADE SOILS, AGGREGATE SUB-BASE AND BASE COURSE MATERIALS WILL BE SUBJECT TO THE FOLLOWING:
    - ANY SCHEDULED RELATIVE COMPACTION TEST THAT IS NOT READY FOR TESTING WITHIN 15 MINUTES OF ARRIVAL OF MATERIALS TESTING PERSONNEL SHALL BE REQUIRED TO BE RESCHEDULED. A FEE WILL BE CHARGED FOR ALL RESCHEDULING.
    - SHOULD ANY RELATIVE COMPACTION TEST FAIL AND IT CANNOT BE RETESTED WITHIN A 15 MINUTE TIME PERIOD FROM THE TIME ALL IN-PLACE MATERIAL HAS BEEN TESTED FOR THAT DAY, A RETEST SHALL BE REQUIRED. A FEE WILL BE CHARGED FOR RETESTING.
- FEES FOR RESCHEDULING AND RETESTING WILL BE AT CURRENT RATE ESTABLISHED BY THE CITY.
- 60. THE CONTRACTOR IS RESPONSIBLE FOR PRESERVATION AND/OR PERPETUATION OF ALL EXISTING MONUMENTS, WHICH CONTROL SUBDIVISIONS, TRACES, STREETS, OR HIGHWAYS, OR PROVIDE SURVEY CONTROL, WHICH WILL BE DISTURBED OR REMOVED DUE TO CONTRACTORS' WORK. THE CONTRACTOR SHALL PROVIDE A MINIMUM OF 10 WORKING DAYS NOTICE TO PROJECT ENGINEER/SURVEYOR PRIOR TO DISTURBANCE OR REMOVAL OF EXISTING MONUMENTS. PROJECT ENGINEER/SURVEYOR SHALL COORDINATE WITH THE CONTRACTOR TO RESET MONUMENTS OR PROVIDE PERMANENT WITNESS MONUMENTS AND FILE THE REQUIRED DOCUMENTATION WITH THE COUNTY SURVEYOR PER BUSINESS AND PROFESSIONS CODE SECTION 8771.
  - 61. CONTRACTOR IS RESPONSIBLE FOR MATCHING EXISTING STREETS, SURROUNDING LANDSCAPE, AND OTHER IMPROVEMENTS WITH A SMOOTH TRANSITION IN PAVING, CURBS, GUTTERS, SIDEWALKS, GRADING, ETC., AND TO AVOID ANY ABRUPT OR APPARENT CHANGES IN GRADES OR CROSS SLOPE, LOW SPOTS, OR HAZARDOUS CONDITIONS.
  - 62. CONTRACTOR SHALL EXPOSE AND VERIFY INVERT ELEVATIONS ON EXISTING SANITARY AND STORM SEWERS, AND CLEARANCES OF KNOWN UTILITY CROSSINGS, BEFORE CONSTRUCTING SUCH UTILITIES. CONTRACTOR IS RESPONSIBLE FOR COORDINATING THIS WORK TO AVOID CONFLICTS BETWEEN SEWER LATERALS, STORM DRAINS AND WATER MAINS.

**HAUL ROUTE:**

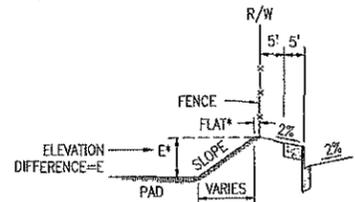
ALL CONSTRUCTION AND DELIVERY TRAFFIC SHALL USE CEDAR GLENN DRIVE TO ACCESS THE SITE. CONSTRUCTION RELATED TRAFFIC SHALL NOT USE TIPTON OR SWEETWATER COURT. THE DEVELOPER SHALL COORDINATE DELIVERIES AND CONSTRUCTION ACTIVITIES IN A MANNER TO MINIMIZE THE EFFECT OF THESE ACTIVITIES ON THE TRAFFIC IN THE NEIGHBORHOOD. THE GENERAL HAUL ROUTE FOR THE SITE SHALL BE: CEDAR GLENN DRIVE, TO SHADY OAKS DRIVE, TO SIMONI RANCH ROAD (CARPENTER ROAD), TO MAIN STREET.

**\*NOTES REGARDING E AND FLAT:**

1. FOR ELEVATION DIFFERENCES LESS THAN 1', PROVIDE 2:1 MAX SLOPE WITH 1' FLAT SPACE BETWEEN THE PROPERTY LINE AND TOP OF SLOPE.
2. FOR ELEVATION DIFFERENCES 1' TO 4', PROVIDE 2:1 MAX SLOPE WITH 2' FLAT SPACE BETWEEN THE PROPERTY LINE AND TOP OF SLOPE.
3. FOR ELEVATION DIFFERENCES GREATER THAN 4', PROVIDE 3:1 MAX SLOPE WITH 2' FLAT SPACE BETWEEN THE PROPERTY LINE AND TOP OF SLOPE.
4. IF ELEVATION DIFFERENCES WILL BE ACCOMMODATED BY A MASONRY RETAINING WALL, PROVIDE 1' FLAT BEHIND THE WALL.
5. THE TOP OF SLOPE MAY BE SET AT THE PROPERTY LINE WITH A 5:1 MAX SLOPE.

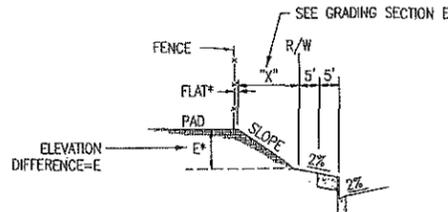
**LEGEND:**

EXISTING	PROPOSED	DESCRIPTION
		PROPERTY LINE
		CURB, GUTTER, SIDEWALK, & PARKWAY
		TOP OF CURB
		CENTERLINE
		SLOPE EMBANKMENT
		STORM DRAIN PIPE
		STORM DRAIN MANHOLE
		CATCH BASIN
		TREE AND TREE TO BE REMOVED
		CONTOURS
		SPOT ELEVATIONS
		PAD ELEVATION
		ADJOINING PAD ELEVATION
		LOT NUMBER
		ADJOINING LOT NUMBER
		MASONRY WALL
		SUBDIVISION BOUNDARY
		EX FENCE
		EARTH SWALE



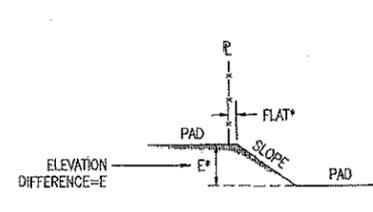
**TYPICAL SIDERYARD SECTION  
(PADS LOWER THAN TC)**

NOT TO SCALE



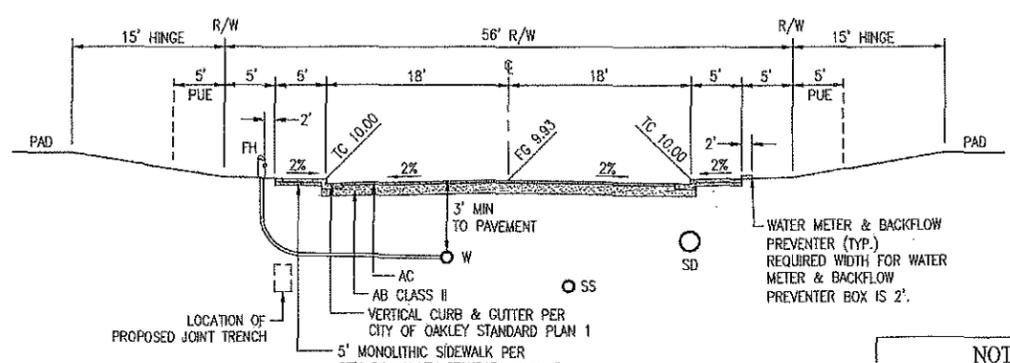
**TYPICAL SIDERYARD SECTION  
(PADS HIGHER THAN TC)**

NOT TO SCALE



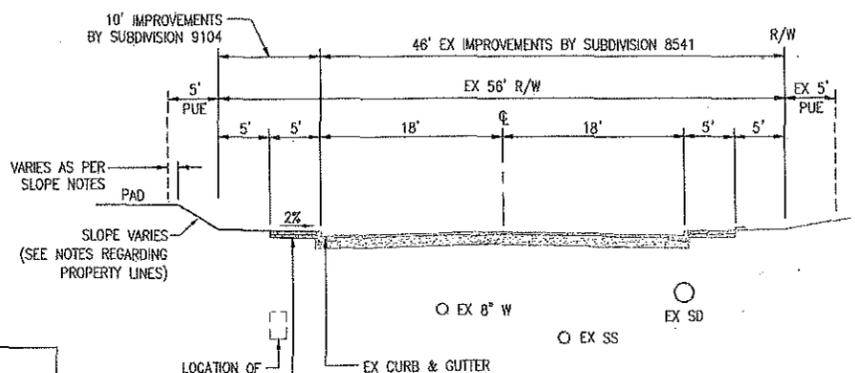
**PAD RELATIONSHIP  
AT SIDE/REAR LOT LINES**

NOT TO SCALE



**RUSTIC COURT & 'A' COURT (56' R/W)**

NOT TO SCALE



**CEDAR GLENN DRIVE (EX 56' R/W)**

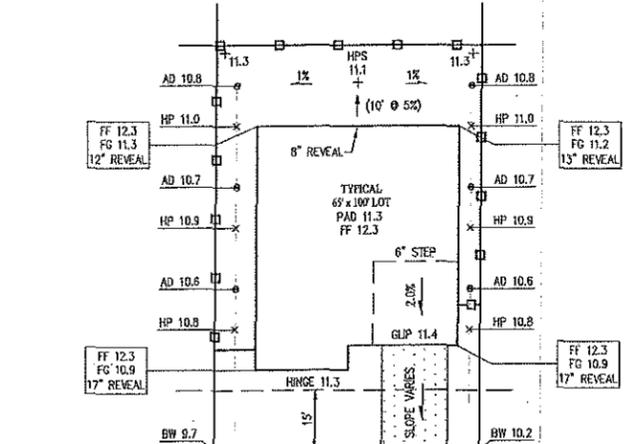
NOT TO SCALE

**NOTE:**  
PER DIABLO WATER DISTRICT, JOINT TRENCH UTILITIES SHALL BE LOCATED UNDER ALL WATER LINES AT CROSSINGS.

DESCRIPTION	(CY)
CLEAR	400
CUT	8,000
FILL	800
SHANK	1,600
IMPORT	0
EXPORT	5,300

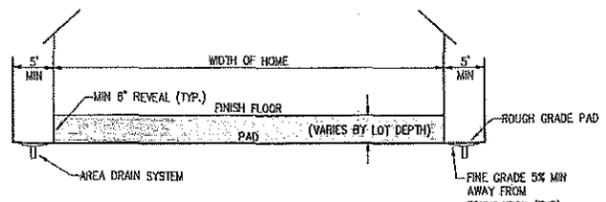
**ABBREVIATIONS:**

- BC BEGINNING OF CURVE
- C & G CURB & GUTTER
- C/L CENTERLINE
- CB CATCH BASIN
- CR CURB RETURN
- CY CUBIC YARD
- EC END OF CURVE
- EX EXISTING
- FF FINISHED FLOOR
- FG FINISHED GRADE
- GB GRADE BREAK
- HP HIGH POINT
- HPS HIGH POINT ON SWALE
- LF LINEAR FEET
- LT LEFT
- LP LOW POINT
- P PAD
- P/L PROPERTY LINE
- PCC POINT OF CONCENTRIC CURVATURE
- PRC POINT OF REVERSE CURVATURE
- PUE PUBLIC UTILITIES EASEMENT
- R/W RIGHT OF WAY
- RT RIGHT
- S SLOPE
- SD STORM DRAIN
- TB TOP OF BANK
- TC TOP OF CURB
- TRC TOP OF ROLLED CURB
- TMC TOP OF MEDIAN CURB
- TP TYPICAL



**TYPICAL LOT GRADING**

**NOTE:**  
ALL SWALES WITHIN 10' OF THE BUILDING FOOTPRINT (SIDERYARDS) SHALL BE 2% MIN. FINE GRADING OF SWALES TO BE COMPLETED AFTER HOUSE CONSTRUCTION.



**TYPICAL LOT CROSS-SECTION**

NOT TO SCALE

STREET	TI	R	MIN AC	MIN AB
RUSTIC COURT AND 'A' COURT (56' R/W) (UP TO NECK OF THE BULB)	5	25	3"	3.5"
CUL-DE-SACS (THIS SECTION SHALL BEGIN AT THE NECK OF THE BULB)	5	25	4.2"	18"

**NOTE:** THE 'R' VALUE IS BASED ON AN ESTIMATE OF THE SOIL CONDITIONS AT THE SITE. FINAL STREET SECTIONS WILL BE DETERMINED BASED ON AN ACTUAL 'R' VALUE OF SUBGRADE AS DETERMINED BY THE SOILS ENGINEER AND WILL BE SUBMITTED TO THE CITY OF OAKLEY.



**Carlson, Barbee & Gibson, Inc.**  
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SAN PABLO, CALIFORNIA 94503  
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FAX (925) 856-2875

**CUTINO PROPERTY**      **SUBDIVISION 9104**

**GENERAL NOTES (CONTINUED), TYPICAL STREET SECTIONS,  
EARTHWORK SUMMARY, DETAILS, & PAVEMENT DESIGN CHART**

**CITY OF OAKLEY**      **CALIFORNIA**

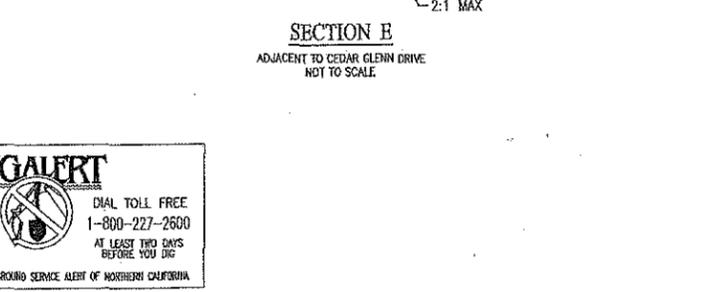
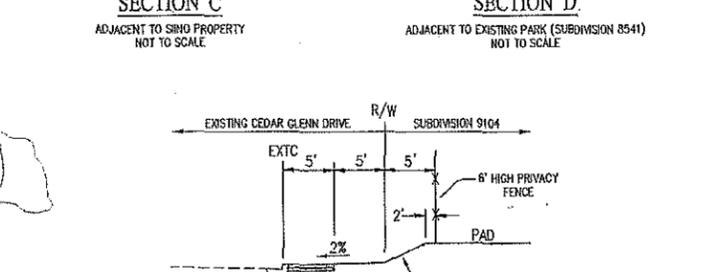
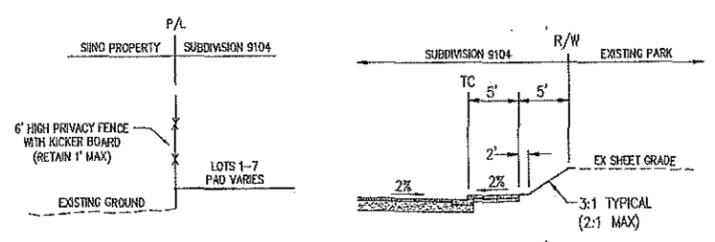
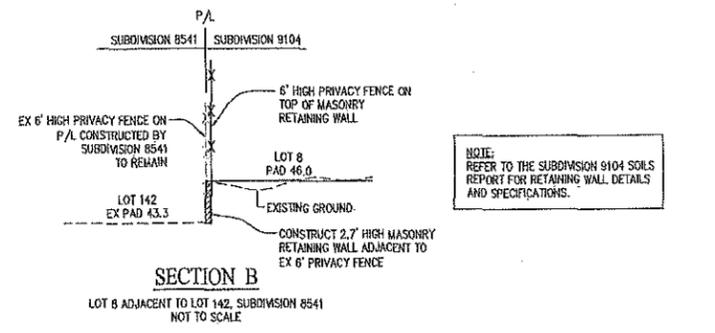
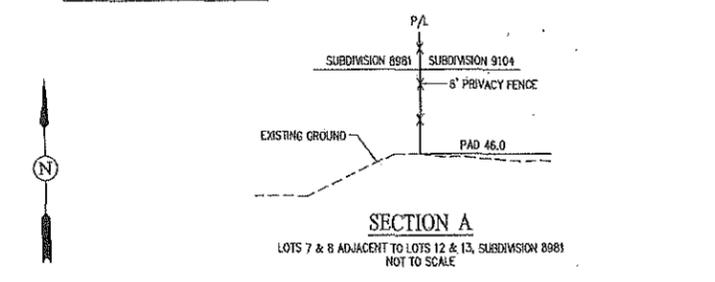
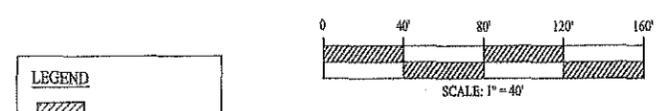
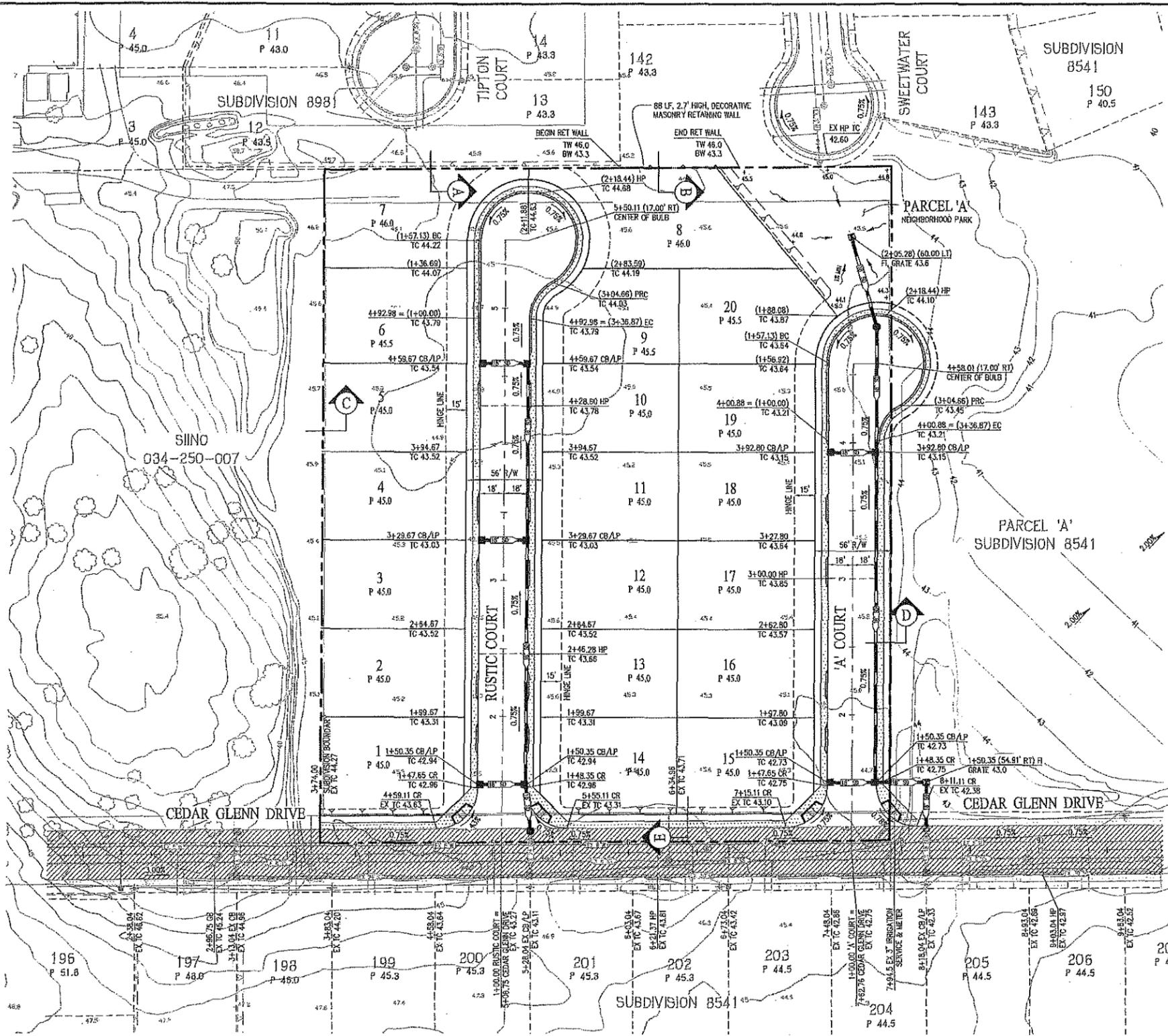
NO.	REVISIONS	BY	APP	DATE

DESIGNED UNDER THE DIRECTION OF:  
*Angelberto*  
ANGELO DBERTELLO  
P.C.E. No. 64945

DATE: NOVEMBER, 2014  
DATE: NOVEMBER, 2014  
DATE: NOVEMBER, 2014



SHEET **2** OF 4 SHEETS



**DIGALERT**  
 DIAL TOLL FREE  
 1-800-227-2600  
 AT LEAST TWO DAYS  
 BEFORE YOU DIG  
 UNDERGROUND SERVICE ALERT OF NORTHERN CALIFORNIA



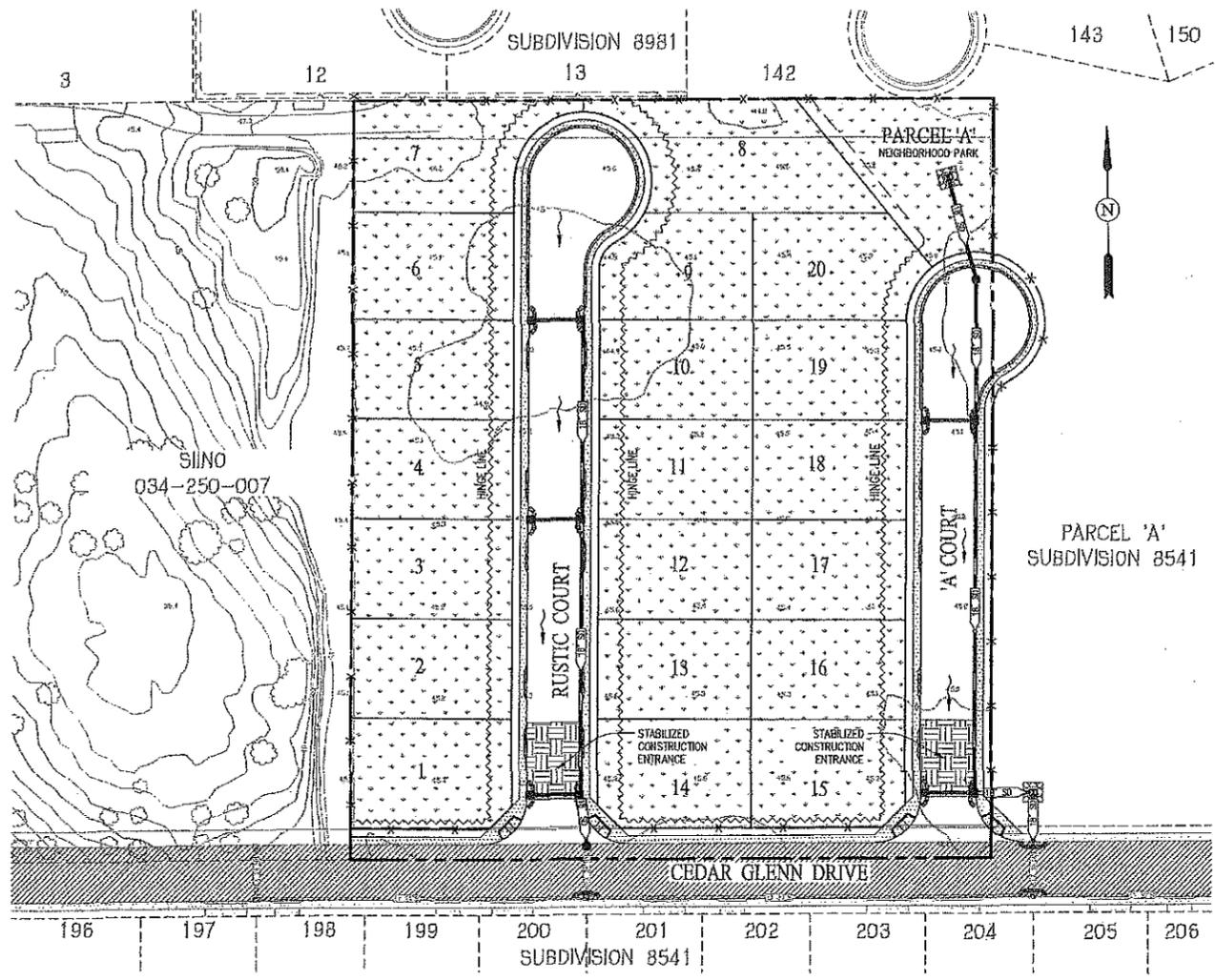
**cbs** Carlson, Barbee & Gibson, Inc.  
 CIVIL ENGINEERS - SURVEYORS - PLANNERS  
 2655 CHINO RIMON, SUITE 330  
 SAN RAFAEL, CALIFORNIA 94583  
 TEL (925) 884-8382  
 FAX (925) 884-8375

**CUTINO PROPERTY**  
**GRADING PLAN**  
 CITY OF OAKLEY  
 SUBDIVISION 9104  
 CALIFORNIA

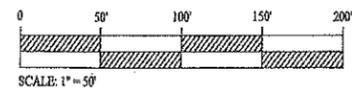
NO.	REVISIONS	BY	APP	DATE

DESIGNED UNDER THE DIRECTION OF:  
 ANGELO BERTELLO  
 F.O.E. No. 44945  
 DATE: 11/11/2014  
 DESIGN: KEJ  
 DATE: NOVEMBER, 2014  
 DRAWN: KEJ  
 DATE: NOVEMBER, 2014  
 CHECKED: AJO  
 DATE: NOVEMBER, 2014

REGISTERED PROFESSIONAL ENGINEER  
 ANGELO BERTELLO  
 6845  
 CIVIL  
 STATE OF CALIFORNIA  
 SHEET  
**3**  
 OF  
**4**  
 SHEETS



**EROSION CONTROL PLAN**  
SCALE: 1"=50'



**LEGEND**

- DIRECTION OF FLOW WITH STORM DRAIN INSTALLED
- FIELD INLET PROTECTION - (SE-10)
- CURB INLET PROTECTION - (SE-10)
- STRAW WATTLE (FIBER ROLLS) - (SE-5)
- SILT FENCE (SE-1)
- STABILIZED CONSTRUCTION ENTRANCE/EXIT - (1C-1)
- HYDROSEED MIX
- CATCH BASIN
- FIELD INLET
- PROPOSED STORM DRAIN

**GENERAL NOTES:**

1. NO PART OF TEMPORARY PERIMETER FENCING OR EROSION CONTROL MEASURES SHALL ENCR OACH INTO PUBLIC RIGHT-OF-WAY OR ADJACENT PRIVATE PROPERTY.
2. NO GRADING TO OCCUR UNDER SAVED TREES CANOPY, ONLY REMOVAL OF IMPERVIOUS SURFACES MAY OCCUR UNDER THE SUPERVISION OF PROJECT ARBORIST. CONTACT PROJECT ARBORIST FIVE BUSINESS DAYS PRIOR TO PERFORMING WORK.
3. SEE LANDSCAPE PLAN FOR TREE PROTECTION BY VANDER TOOLEN LANDSCAPE ARCHITECTS.
4. ALL ON-SITE AREA DRAINS AND CATCH BASINS, EXISTING OR PROPOSED, SHALL BE EQUIPPED WITH INLET PROTECTION.

**EROSION CONTROL NOTES:**

SUMMARY OF MONITORING REQUIREMENTS							
RISK LEVEL	VISUAL INSPECTIONS			SAMPLE COLLECTION			
	QUARTERLY NON-STORMWATER DISCHARGE	PRE-STORM EVENT BASELINE	PRE-STORM EVENT REAP	DAILY STORM BMP	POST STORM	STORMWATER DISCHARGE	RECEIVING WATER
1							

- RISK LEVEL 1 SITES:**
1. RISK LEVEL 1 SITES ARE NOT SUBJECT TO A NUMERIC EFFLUENT STANDARD.
  2. RISK LEVEL 1 SITES DO NOT REQUIRE A RAIN EVENT ACTION PLAN.
  3. RISK LEVEL 1 SITE MONITORING AND REPORTING REQUIREMENTS:
- ALL SITES:**
1. IT SHALL BE THE LEGALLY RESPONSIBLE PARTY'S (LPP/DISCHARGER) DUTY TO MAINTAIN CONTROL OF THE ENTIRE CONSTRUCTION OPERATION AND TO ENSURE THE ENTIRE SITE IS IN COMPLIANCE WITH THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) APPROVED FOR THE SITE, THE CALIFORNIA STATE WATER RESOURCES CONTROL BOARD (SWRCB) ORDER NO. 2009-0008 DRW, NPDES NO. CAS000002 AND THE CASQA CONSTRUCTION BMP GUIDANCE HANDBOOK.
  2. THIS PLAN IS INTENDED TO BE UTILIZED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE UTILIZED FOR FINAL ELEVATIONS OR PERMANENT IMPROVEMENTS.
  3. THIS PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARI SE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN AS NECESSARY IN THE FIELD. DOCUMENT AND REPORT ANY FIELD CHANGES PER THE REQUIREMENTS OF THE SWPPP AND NOTIFY THE CITY OR COUNTY REPRESENTATIVE OF THE FIELD CHANGES.
  4. ALL MAINTENANCE AND OPERATION REQUIREMENTS SHALL COMPLY WITH THE SWPPP AND THE CASQA CONSTRUCTION BMP GUIDANCE HANDBOOK.
  5. DISCHARGERS SHALL EFFECT AND MAINTAIN PRECAUTIONARY MEASURES NECESSARY TO PROTECT ADJACENT WATERCOURSES AND PUBLIC OR PRIVATE PROPERTY FROM DAMAGE BY EROSION, FLOODING AND DEPOSITION OF MUD OR DEBRIS ORIGINATING FROM THE SITE.
  6. THE CONTRACTOR IS RESPONSIBLE FOR ALL ASPECTS OF EROSION CONTROL FOR THE PROJECT AND SHALL INSTALL AND MAINTAIN ANY DEVICES AND MEASURES NECESSARY TO THE SATISFACTION OF THE CITY OR COUNTY ENGINEER AND THE REGIONAL WATER QUALITY CONTROL BOARD (RWQCB).
  7. DISCHARGERS SHALL ESTABLISH AND MAINTAIN EFFECTIVE BMP PERIMETER CONTROLS AND STABILIZED ALL CONSTRUCTION ENTRANCES AND EXITS TO SUFFICIENTLY CONTROL EROSION AND SEDIMENT DISCHARGES FROM THE SITE YEAR-ROUND.
  8. EROSION CONTROL MEASURES WILL BE PROPERLY IN PLACE YEAR-ROUND. ALL REMOVABLE PROTECTIVE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE FIVE DAY RAIN PROBABILITY EXCEEDS 50 PERCENT.
  9. INSPECTIONS AND OBSERVATIONS SHALL OCCUR WEEKLY, AND AT LEAST ONCE EACH 24-HOUR PERIOD DURING EXTENDED STORM EVENTS, TO IDENTIFY AND RECORD BMPs THAT NEED MAINTENANCE TO OPERATE EFFECTIVELY, THAT HAVE FAILED OR THAT COULD FAIL TO OPERATE AS INTENDED.
  10. DISCHARGERS SHALL IMPLEMENT MEASURES TO CONTROL ALL NON-STORMWATER DISCHARGES DURING CONSTRUCTION.
  11. DISCHARGERS SHALL IMPLEMENT EFFECTIVE WIND EROSION CONTROL.
  12. CONSTRUCTION TRAFFIC SPEEDS WILL BE LIMITED TO 15 MPH, OR LESS, AS REQUIRED BY THE CONTRACTOR.
  13. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF SITE WORK. ALL CONSTRUCTION TRAFFIC ENTERING THE PAVED ROAD MUST CROSS THE ENTRANCE. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY.
  14. APPLY GRAVEL CONSTRUCTION ENTRANCE MATERIAL WITHIN MATERIAL STORAGE AREA.
  15. APPLY GRAVEL CONSTRUCTION ENTRANCE MATERIAL WITHIN THE VEHICLE STORAGE AREA.

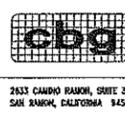
**APPLICABLE (BUT NOT LIMITED TO) CURRENT CASQA STORMWATER BMP CONSTRUCTION GUIDELINES**

- EC-4 HYDROSEED
- NS-8 VEHICLE & EQUIPMENT CLEANING
- NS-9 VEHICLE & EQUIPMENT FUELING
- NS-10 VEHICLE & EQUIPMENT MAINTENANCE
- SE-1 SILT FENCE
- SE-5 FIBER ROLLS
- SE-10 DI PROTECTION TYPE 1
- SE-10 DI PROTECTION TYPE 2
- SE-10 DI PROTECTION TYPE 3
- TC-1 STABILIZED CONSTRUCTION ENTRANCE/EXIT
- TC-3 ENTRANCE & CULLET TIRE WASH
- WM-1 MATERIAL DELIVERY & STORAGE
- WM-2 MATERIAL USE
- WM-3 STOCKPILE MANAGEMENT
- WM-8 CONCRETE WASTE MANAGEMENT
- WM-9 SANITARY/SEPTIC WASTE MANAGEMENT

16. PLACE ALL EQUIPMENT OR VEHICLES, WHICH ARE TO BE FUELED, MAINTAINED AND STORED IN A DESIGNATED AREA FITTED WITH APPROPRIATE BUPS.
17. IMPLEMENT BMPs TO PREVENT THE OFF-SITE TRACKING OF LOOSE CONSTRUCTION AND LANDSCAPE MATERIALS.
18. PAVED STREETS WILL BE MONITORED DAILY AND FREQUENTLY CLEANED. STREETS WILL ALSO BE SWEEPED ON AT LEAST A WEEKLY BASIS OR MORE OFTEN, AS NEEDED, TO MAINTAIN CONTINUOUS LITTER AND TRACKING CONTROL. STREET WASHING WILL NOT BE DONE.
19. TRASH RECEPTACLES WILL BE PROVIDED THROUGHOUT THE SITE AND UTILIZED BY ALL WORKERS FOR MISCELLANEOUS TRASH. SITE REFUSE WILL BE PICKED UP ON A WEEKLY BASIS OR AS OFTEN AS NECESSARY IN ORDER TO KEEP THE SITE CLEAN.
20. COVER AND BERM LOOSE STOCKPILED CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED (I.E. SOIL, SPOOLS, AGGREGATE, FLY-ASH, STUCCO, HYDRATED LIME, ETC.).
21. CONTAIN AND SECURELY PROTECT STOCKPILED WASTE MATERIAL FROM WIND AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED.
22. EXCAVATING, FILLING, BACKFILLING AND GRADING WORK SHALL NOT BE PERFORMED DURING UNFAVORABLE WEATHER CONDITIONS.
23. DISCHARGERS SHALL PROVIDE EFFECTIVE SOIL COVER FOR INACTIVE AREAS AND ALL FINISHED SLOPES, OPEN SPACE, UTILITY BACKFILL AND COMPLETED LOTS. INACTIVE AREAS OF CONSTRUCTION ARE AREAS OF CONSTRUCTION ACTIVITY THAT HAVE BEEN DISTURBED AND ARE NOT SCHEDULED TO BE RE-DISTURBED FOR AT LEAST 14 DAYS.
24. SLOPES WILL BE GRADED SO THAT WATER IS DIRECTED AWAY FROM THE SLOPE FACES AT THE END OF EACH WORKING DAY WHEN A CHANCE OF RAIN IS FORECAST.
25. ALL RILLS, GULLIES, ETC. WILL BE PROMPTLY REPAIRED AS PRACTICAL BY REGRADING OR INSTALLATION OF SOIL, GRAVEL OR SANDBAGS.
26. ALL DRAIN INLETS WILL BE PROTECTED AS THEY ARE COMPLETED, DURING THE ENTIRE COURSE OF CONSTRUCTION.
27. IF SEDIMENT BASINS ARE TO BE USED, DISCHARGERS SHALL, AT A MINIMUM DESIGN SEDIMENT BASINS ACCORDING TO THE METHOD PROVIDED IN CASQA'S CONSTRUCTION BMP GUIDANCE HANDBOOK.
28. AFTER EACH RAINSTORM, SILT AND DEBRIS SHALL BE REMOVED FROM CHECK DAMS, FIBER ROLLS, SILT FENCES AND SILT SACKS. SEDIMENT TRAPS/BASINS SHOULD ALSO BE OBSERVED AND PUMPED DRY AS NECESSARY TO ASSURE PROPER FUNCTION AND CAPACITY.
29. INTERIOR FIBER ROLLS MAY BE REMOVED AS THE AREA COMES UNDER CONSTRUCTION FOR FINISH GRADING AND LANDSCAPING INSTALLATION. PERIMETER PROTECTION SHOULD BE LEFT IN PLACE YEAR-ROUND.
30. GRAVEL CHECK DAMS MAY BE REMOVED FROM UNPAVED ROADWAYS AS THEY COME UNDER CONSTRUCTION.

**SWPPP MANAGER TO MARK KNOWN LOCATIONS**

- MATERIALS AND EQUIPMENT STORAGE AREA
- SANITARY FACILITY
- VEHICLE MAINTENANCE/ FUELING AREA
- CONCRETE/WASTE WASHOUT

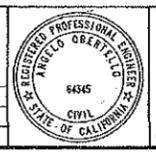


**Carlson, Barbee & Gibson, Inc.**  
CIVIL ENGINEERS • SURVEYORS • PLANNERS  
2633 CANTO RANCHO, SUITE 350  
SAN RAMON, CALIFORNIA 94583  
TEL (925) 866-0322  
FAX (925) 866-0323

**CUTINO PROPERTY** SUBDIVISION 9104  
**EROSION CONTROL PLAN, DETAILS, & NOTES**  
CITY OF OAKLEY CALIFORNIA

NO.	REVISIONS	BY	APP	DATE

DESIGNED UNDER THE DIRECTION OF:  
*Angel O. Bertello*  
ANGEL O. BERTELLO  
R.O.E. No. 64845  
DATE: NOVEMBER, 2014  
DESIGN: KEJ  
DATE: NOVEMBER, 2014  
DRAWN: KEJ  
DATE: NOVEMBER, 2014  
CHECKED: AJD  
DATE: NOVEMBER, 2014



SHEET **4** OF **4** SHEETS

CITY OF OAKLEY  
Planning Department  
DEC 16 2014  
RECEIVED



PLAN 1C (TUSCAN)

PLAN 4AR (TRADITIONAL)

PLAN 3B (COTTAGE)

PLAN 2AR (TRADITIONAL)

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STREET SCENE

CEDAR GLENN ESTATES  
OAKLEY, CALIFORNIA  
KIPER DEVELOPMENT

0 4 8 12 16  
1/16" SCALE  
2014332.00  
Sept 30, 2014

WILLIAM HEZMALHALCH  
ARCHITECTS INC.

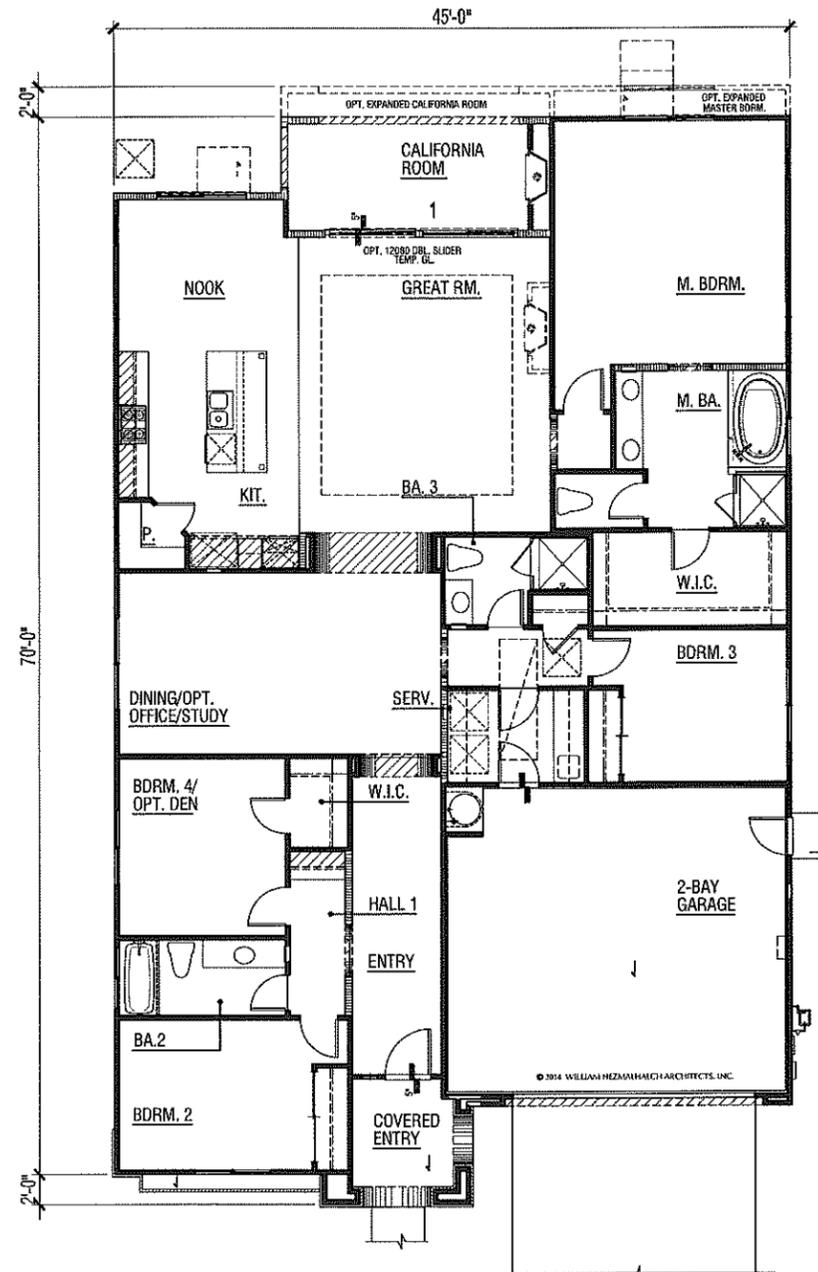






WILLIAM HEZMALHALCH  
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200 REDWOOD AVENUE SUITE 200 SAN RAFAEL, CA 94903  
415 253 2627 www.hezmalhalch.com 415 253 2520  
3000 BARKLEY PARKWAY SUITE 205 SAN RAMON, CA 94583  
925 483 1100 925 483 1100

S.F.D.



FLOOR PLAN - PLAN 1B

FLOOR AREA TABLE	PLAN 1B
FLOOR PLAN	2331 SQ. FT.
GARAGE	477 SQ. FT.
COVERED ENTRY	67 SQ. FT.
CALIFORNIA ROOM	132 SQ. FT.
OPT. EXPANDED M. BEDROOM	+32 SQ. FT.
OPT. TOTAL EXPANDED CALIFORNIA ROOM	168 SQ. FT.

SCALE: 1/4" = 1'- 0"

FLOOR PLAN - PLAN 1B - COTTAGE

CEDAR GLENN ESTATES  
OAKLEY, CALIFORNIA

KIPER DEVELOPMENT  
WALNUT CREEK, CALIFORNIA

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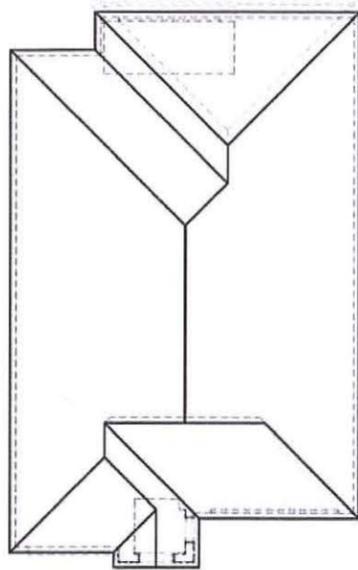
NO. NOT SCALE PLANS

REVISIONS

NO.	DATE	DESCRIPTION

PROJECT MANAGER:  
DESIGNER: JM  
DRAWN BY:  
REVIEWED BY: RL  
TEST REVIEW, DEPT. SUBMITTAL:  
ISSUED FOR CONSTRUCTION:  
JOB NUMBER: 124132  
CAD FILE NAME: A01

DATE: 09/30/14  
SHEET: A1.3



ROOF PLAN SCALE: 1/8" = 1'-0"

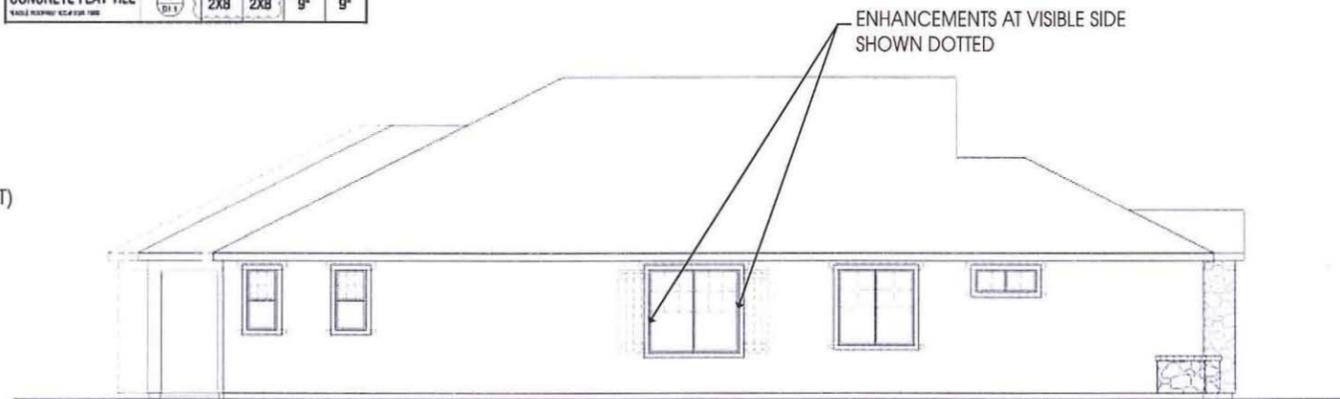
COTTAGE ("B") ELEVATION

- ROOF: FLAT CONCRETE TILE
- FASCIA: WOOD
- WALL: STUCCO
- TRIM: STUCCO
- GABLE: BATTS OVER PANEL (WOOD OR FIBER CEMENT)
- WINDOW: WHITE VINYL
- SHUTTERS: PREFABRICATED OR WOOD
- MASONRY: MANUFACTURED STONE VENEER
- GARAGE DOOR: METAL SECTIONAL WITH OPT. WINDOW

ELEVATION NUMBER	ELEVATION STYLE	ROOF	FASCIA	GABLE	TRIM	SHUTTERS	MASONRY	GARAGE DOOR
B	COTTAGE	CONCRETE FLAT TILE	WOOD	BATTS OVER PANEL (WOOD OR FIBER CEMENT)	STUCCO	PREFABRICATED OR WOOD	MANUFACTURED STONE VENEER	METAL SECTIONAL WITH OPT. WINDOW



RIGHT



ENHANCEMENTS AT VISIBLE SIDE SHOWN DOTTED

LEFT



PROVIDE GRIDS AT VISIBLE LEFT SIDE ELEVATION

REAR

EXTERIOR ELEVATIONS



FRONT

SCALE: 1/4" = 1'-0"

WILLIAM HEZMAHALCH ARCHITECTS INC.  
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 949 250 0527 www.whezmaharch.com fax 949 250 1529  
 800 ELIZABETH PARKWAY SUITE 275 SAN RAFAEL CA 94903-4200  
 415 462 5726 fax 415 250 1529

S.F.D.

ELEVATIONS - PLAN 1B - COTTAGE

CEDAR GLENN ESTATES  
 OAKLEY, CALIFORNIA

KIPER DEVELOPMENT  
 WALNUT CREEK, CALIFORNIA

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PROJECT MANAGER	
DESIGNER	
DRAWN BY	
REVIEWED BY	
1ST BLOC DEPT. SUBMITTAL	
ISSUED FOR CONSTRUCTION	
JOB NUMBER	2014102
CAD FILE NAME	A101

DATE	SHEET
09/30/14	A1.4







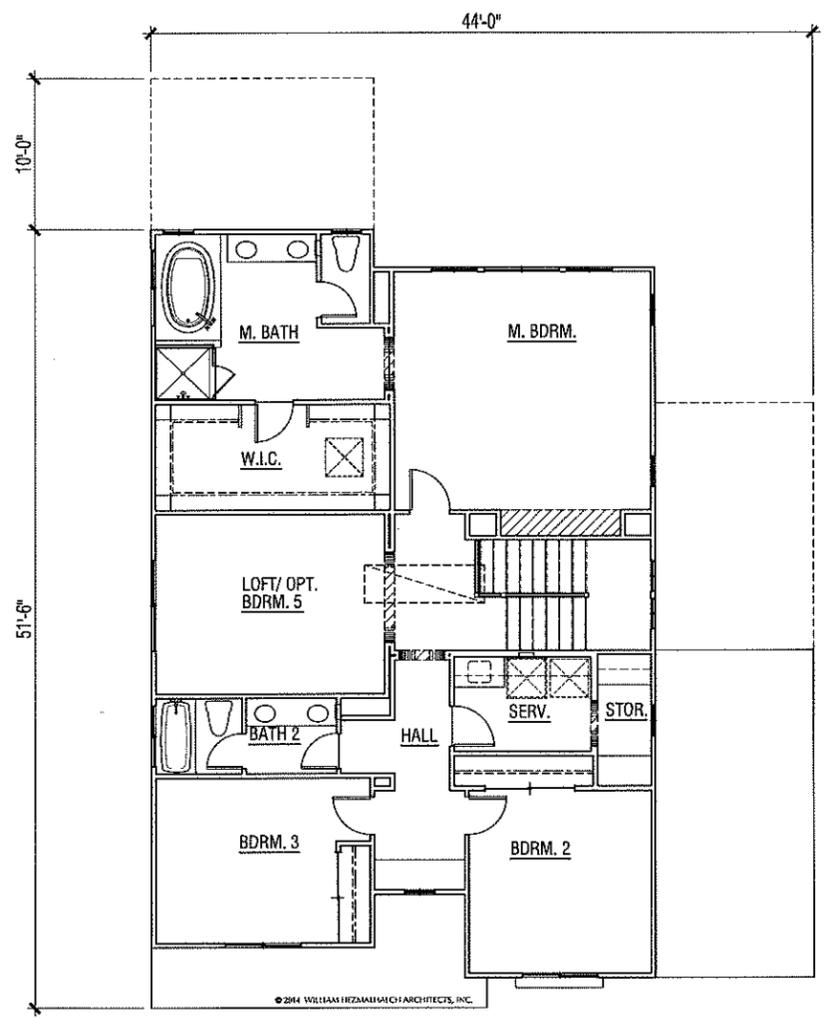






  
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 925 443 1370 fax 925 255 1529

S.F.D.



UPPER FLOOR PLAN - PLAN 2B

FLOOR AREA TABLE	PLAN 2B
LOWER FLOOR PLAN	1231 SQ. FT.
UPPER FLOOR PLAN	1471 SQ. FT.
<b>TOTAL</b>	<b>2702 SQ. FT.</b>
GARAGE	482 SQ. FT.
PORCH	150 SQ. FT.
OPTIONAL CALIFORNIA ROOM	148 SQ. FT.
OPTIONAL TANDER GARAGE	+172 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

SCALE: 1/4" = 1'- 0"

FLOOR PLAN - PLAN 2B - COTTAGE

**CEDAR GLENN ESTATES**  
 OAKLEY, CALIFORNIA

KIPER DEVELOPMENT  
 WALNUT CREEK, CALIFORNIA

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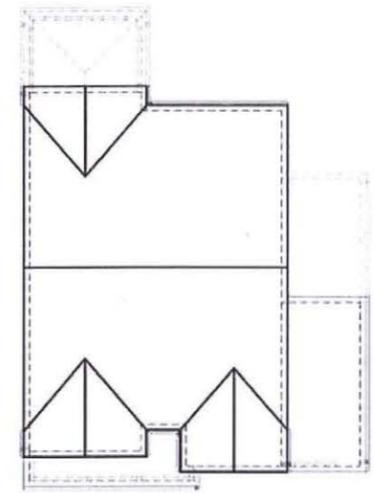
DO NOT SCALE PLANS

REVISIONS		
NO.	DATE	DESCRIPTION

PROJECT MANAGER: AM  
 DESIGNER: -  
 DRAWN BY: FL  
 REVIEWED BY: -  
 1ST BLDG. DEPT. MANAGER: -  
 ISSUED FOR CONSTRUCTION: -  
 JOB NUMBER: 2014032  
 CAD FILE NAME: A25.1

DATE: 09/30/14  
 SHEET: A2.5

S.F.D.

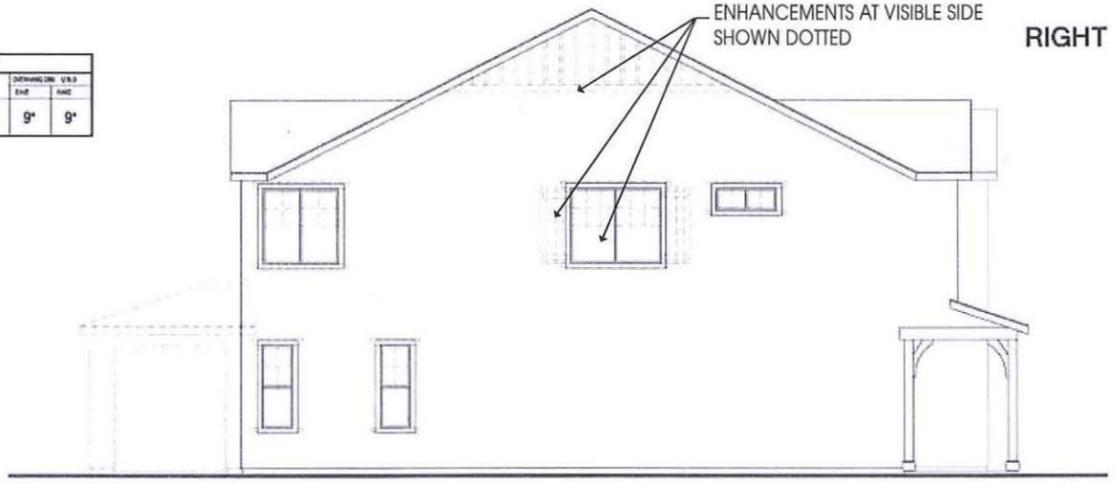


ROOF PLAN SCALE: 1/8" = 1'-0"

ELEVATION REFERENCE	B	ALTERNATE STYLE	COTTAGE			
ROOF MATERIAL	ROOFING DEPTH (FT) (S.F.)	FASCIA (IN) (S.F.)	GABLE (IN) (S.F.)	CHIMNEY (IN) (S.F.)	CHIMNEY (IN) (S.F.)	CHIMNEY (IN) (S.F.)
CONCRETE FLAT TILE	1 (101)	2X8	2X8	9"	9"	

COTTAGE ("B") ELEVATION

- ROOF: FLAT CONCRETE TILE
- FASCIA: WOOD
- WALL: STUCCO
- TRIM: STUCCO
- GABLE: BATTS OVER PANEL (WOOD OR FIBER CEMENT)
- WINDOW: WHITE VINYL
- SHUTTERS: PREFABRICATED OR WOOD
- MASONRY: MANUFACTURED STONE VENEER
- GARAGE DOOR: METAL SECTIONAL WITH OPT. WINDOW



REAR EXTERIOR ELEVATIONS



FRONT EXTERIOR ELEVATIONS SCALE: 1/4" = 1'-0"

ELEVATIONS - PLAN 2B - COTTAGE

**CEDAR GLENN ESTATES**  
 OAKLEY, CALIFORNIA

KIPER DEVELOPMENT  
 WALNUT CREEK, CALIFORNIA

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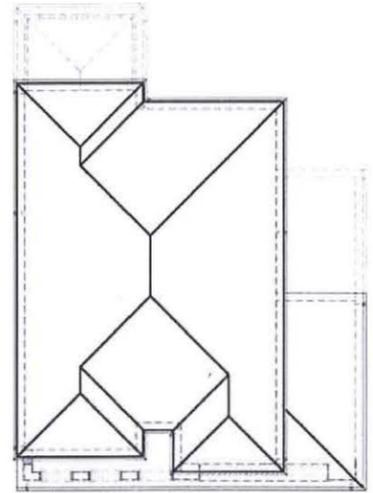
REVISIONS		
NO.	DATE	DESCRIPTION

PROJECT MANAGER	
DESIGNED BY	WH
REVISIONS BY	
15' HEAD DEPTH SUBMITTAL ISSUED FOR CONSTRUCTION	
JOB NUMBER	2014022
CUSTOMER NAME	KIPER

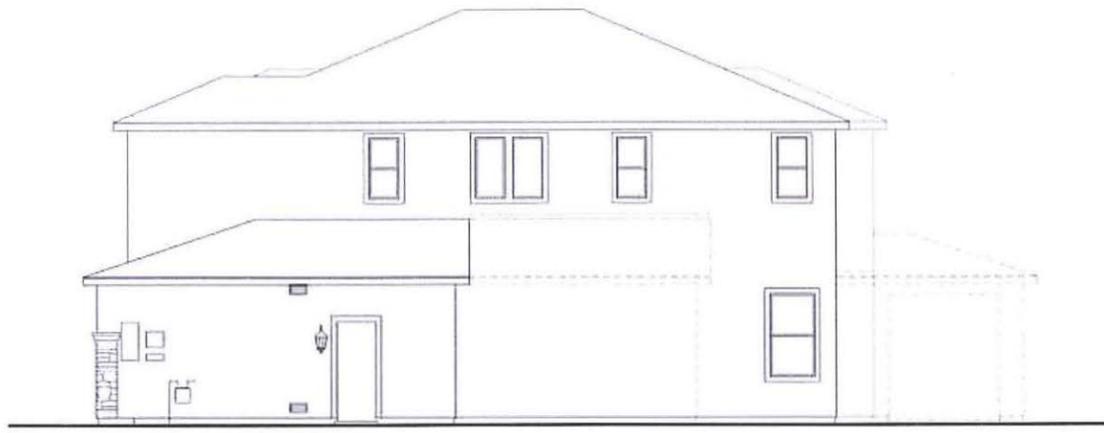
DATE	09/30/14	SHEET	A2.6
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**ROOF PLAN** SCALE: 1/8" = 1'-0"

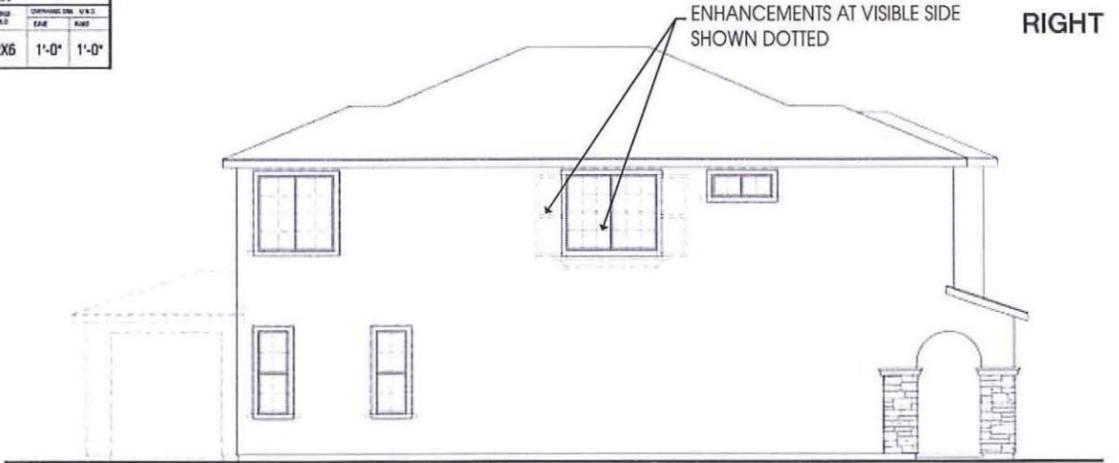


S.F.D.

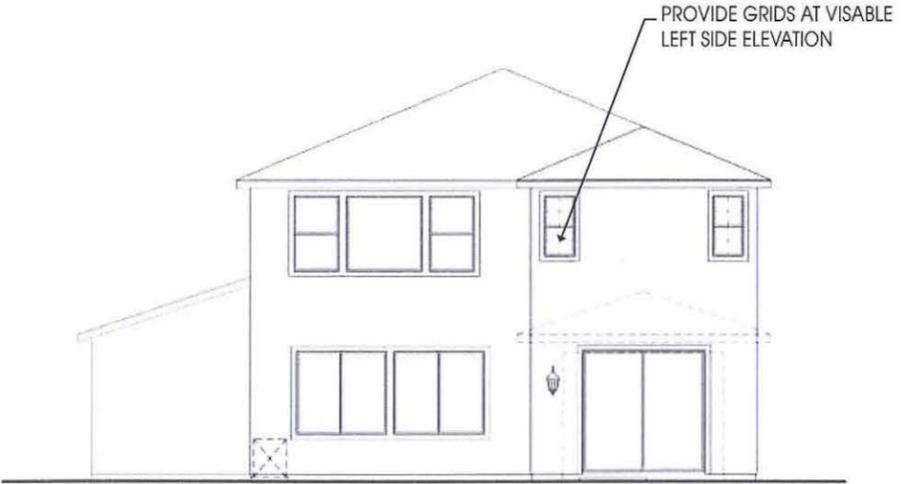
ELEVATION NUMBER	C	ELEVATION STYLE	TUSCAN
ROOF MATERIAL		CONCRETE S TILE	
ROOF PITCH		12/12	
FLOOR FINISH		2X6	2X6
CEILING FINISH		1'-0"	1'-0"

**TUSCAN ("C") ELEVATION**

- ROOF: "S" SHAPED CONCRETE TILE
- FASCIA: WOOD
- WALL: STUCCO
- TRIM: STUCCO
- WINDOW: WHITE VINYL
- SHUTTERS: PREFABRICATED OR WOOD
- MASONRY: MANUFACTURED STONE VENEER
- GARAGE DOOR: METAL SECTIONAL WITH OPT. WINDOWS



LEFT



REAR



FRONT

**EXTERIOR ELEVATIONS**

SCALE: 1/4" = 1'-0"

**CEDAR GLENN ESTATES**  
OAKLEY, CALIFORNIA

KIPER DEVELOPMENT  
WALNUT CREEK, CALIFORNIA

**ELEVATIONS - PLAN 2C - TUSCAN**

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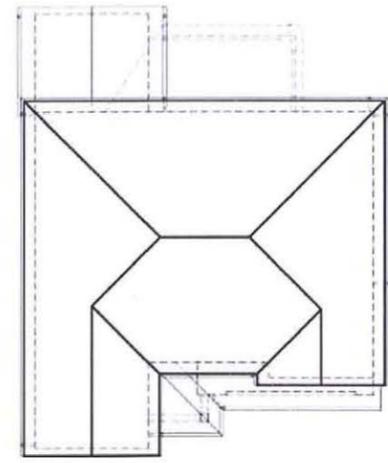
NO.	DATE	DESCRIPTION

PROJECT NUMBER	
DESIGNER	WH
DRAWN BY	
REVIEWED BY	RL
1ST BLDG DEPT. SUBMITTAL	
ISSUED FOR CONSTRUCTION	
JOB NUMBER	201402
CAD FILE NAME	4201
DATE	09/30/14
SHEET	A2.9





S.F.D.



**ROOF PLAN** SCALE: 1/8" = 1'-0"

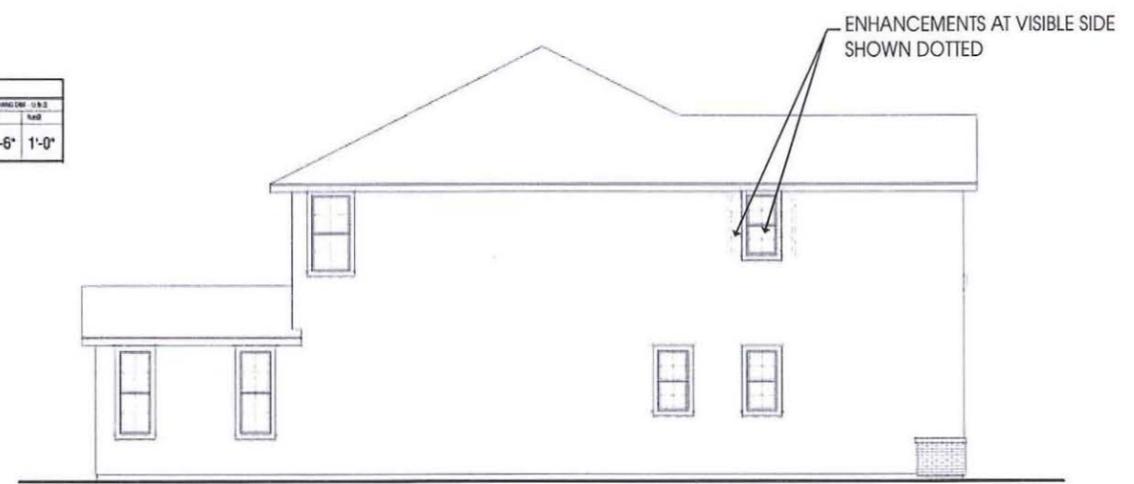
SECTION NUMBER	A	DESCRIPTION	TRADITIONAL
ROOF BY TYPE		STANDARD ROOF	TRADITIONAL
		CONCRETE FLAT TILE	2X8 2X8 1'-6" 1'-0"

**TRADITIONAL ("A") ELEVATION**

- ROOF: FLAT CONCRETE TILE
- FASCIA: WOOD
- GABLE: FIBER CEMENT LAP SIDING (6" EXPOSURE) WITH CORBELS
- WALL: STUCCO
- TRIM: STUCCO
- WINDOW: WHITE VINYL
- SHUTTERS: PREFABRICATED OR WOOD
- MASONRY: BRICK VENEER
- PORCH: BOXED FIBER CEMENT OR WOOD COLUMNS
- GARAGE DOOR: METAL SECTIONAL WITH OPT. WINDOWS



**RIGHT**



ENHANCEMENTS AT VISIBLE SIDE SHOWN DOTTED

PROVIDE GRIDS AT VISABLE LEFT SIDE ELEVATION

**LEFT**



**REAR EXTERIOR ELEVATIONS**



**FRONT**

SCALE: 1/4" = 1'-0"

**CEDAR GLENN ESTATES**  
 OAKLEY, CALIFORNIA  
 KIPER DEVELOPMENT  
 WALNUT CREEK, CALIFORNIA

ELEVATIONS - PLAN 3A - TRADITIONAL

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NO.	DATE	DESCRIPTION

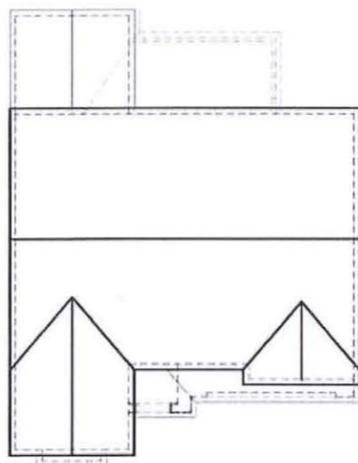
PROJECT MANAGER	
DESIGNER	
DRAWN BY	
DATE OF SUBMITTAL	
DATE FOR CONSTRUCTION	
JOB NUMBER	201402
CAD FILE NAME	A301

DATE: 09/30/14 SHEET: A3.3





S.F.D.



**ROOF PLAN** SCALE: 1/8" = 1'-0"

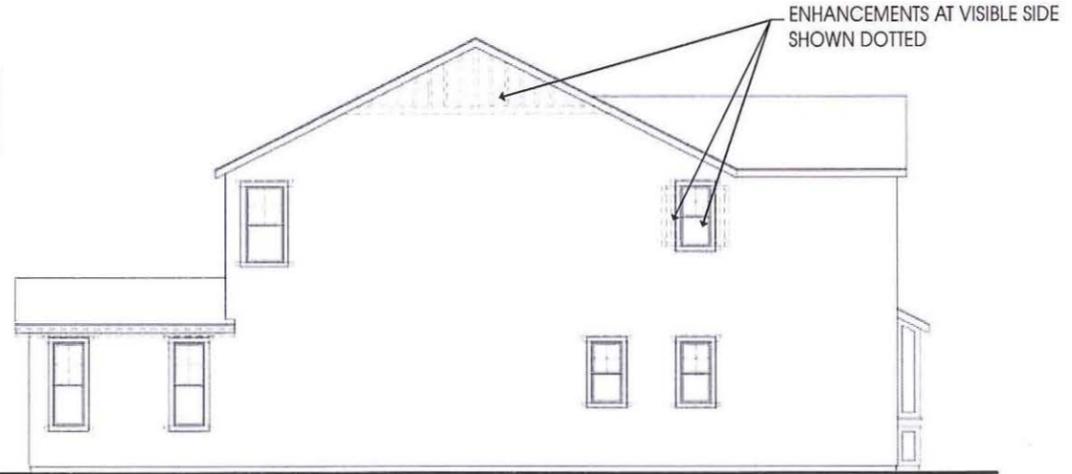


**RIGHT**

ELEVATION REFERENCE	B	ELEVATION STYLE	COTTAGE			
ROOF MATERIAL	STANDING SEAM DETAIL S.F.D.	FASCIA S.F.D.	RAFTER S.F.D.	DORMER S.F.D.	GABLE S.F.D.	
CONCRETE FLAT TILE		2XB	2XB	9"	9"	

**COTTAGE ("B") ELEVATION**

- ROOF: FLAT CONCRETE TILE
- FASCIA: WOOD
- WALL: STUCCO
- TRIM: STUCCO
- GABLE: BATTS OVER PANEL (WOOD OR FIBER CEMENT)
- WINDOW: WHITE VINYL
- SHUTTERS: PREFABRICATED OR WOOD
- MASONRY: MANUFACTURED STONE VENEER
- GARAGE DOOR: METAL SECTIONAL WITH OPT. WINDOW



**LEFT**

PROVIDE GRIDS AT VISABLE LEFT SIDE ELEVATION



**REAR EXTERIOR ELEVATIONS**



**FRONT**

SCALE: 1/4" = 1'-0"

**ELEVATIONS - PLAN 3B - COTTAGE**  
**CEDAR GLENN ESTATES**  
 OAKLEY, CALIFORNIA  
 KIPER DEVELOPMENT  
 WALNUT CREEK, CALIFORNIA

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 DO NOT SCALE PLANS

REVISIONS		
NO.	DATE	DESCRIPTION

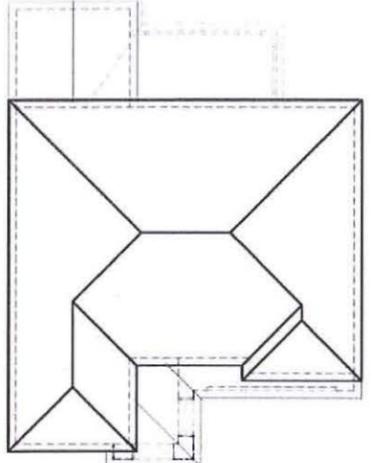
PROJECT MANAGER: \_\_\_\_\_  
 DESIGNER: \_\_\_\_\_  
 DRAWN BY: \_\_\_\_\_  
 REVIEWED BY: \_\_\_\_\_  
 EST. BLDG. DEPT. SUBMITTER: \_\_\_\_\_  
 JOB NUMBER: 2014032  
 C&E FILE NAME: A3B1

DATE: 09/30/14 SHEET: A3.6





S.F.D.



ROOF PLAN SCALE: 1/8" = 1'-0"

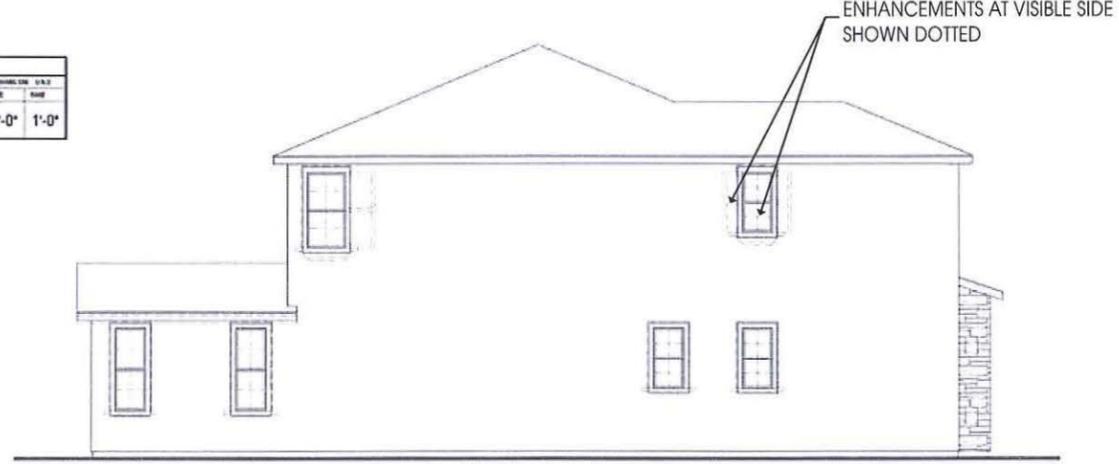
TUSCAN ("C") ELEVATION

- ROOF: "S" SHAPED CONCRETE TILE
- FASCIA: WOOD
- WALL: STUCCO
- TRIM: STUCCO
- WINDOW: WHITE VINYL
- SHUTTERS: PREFABRICATED OR WOOD
- MASONRY: MANUFACTURED STONE VENEER
- GARAGE DOOR: METAL SECTIONAL WITH OPT. WINDOWS

REVISION NUMBER	DESCRIPTION	DATE	BY	APP'D
C	TUSCAN			
1	CONCRETE 'S' TILE	2X6	2X6	1'-0" 1'-0"



RIGHT



ENHANCEMENTS AT VISIBLE SIDE SHOWN DOTTED

PROVIDE GRIDS AT VISABLE LEFT SIDE ELEVATION

LEFT



REAR EXTERIOR ELEVATIONS



FRONT

SCALE: 1/4" = 1'-0"

CEDAR GLENN ESTATES  
OAKLEY, CALIFORNIA

KIPER DEVELOPMENT  
WALNUT CREEK, CALIFORNIA

ELEVATIONS - PLAN 3C - TUSCAN

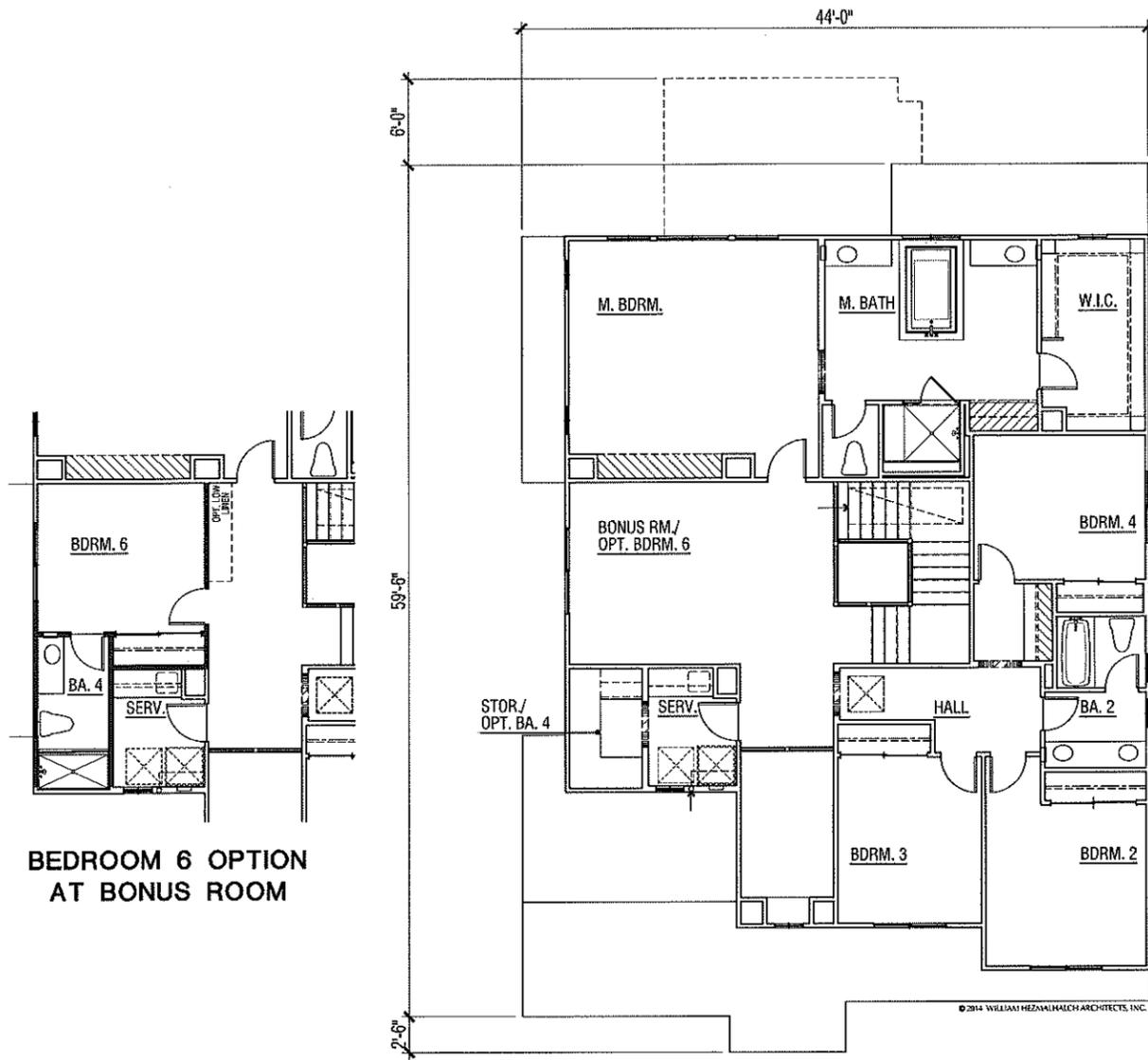
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REVISIONS		
NO.	DATE	DESCRIPTION

PROJECT MANAGER: [Name]  
 DESIGNER: [Name]  
 DRAWN BY: [Name]  
 REVIEWED BY: [Name]  
 1ST BAC DEPT. SUPERVISOR: [Name]  
 2ND BAC DEPT. SUPERVISOR: [Name]  
 JOB NUMBER: 2014032  
 CDR FILE NAME: A301

DATE: 09/30/14 SHEET: A3.9





UPPER FLOOR PLAN - PLAN 4A

S.F.D.

**CEDAR GLENN ESTATES**  
 OAKLEY, CALIFORNIA

KIPER DEVELOPMENT  
 WALNUT CREEK, CALIFORNIA

FLOOR PLAN - PLAN 4A - TRADITIONAL

FLOOR AREA TABLE	PLAN 4A
LOWER FLOOR PLAN	1585 SQ. FT.
UPPER FLOOR PLAN	1717 SQ. FT.
TOTAL	3282 SQ. FT.
GARAGE	672 SQ. FT.
PORCH	198 SQ. FT.
OPTIONAL CALIFORNIA ROOM	179 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

SCALE: 1/4" = 1'- 0"

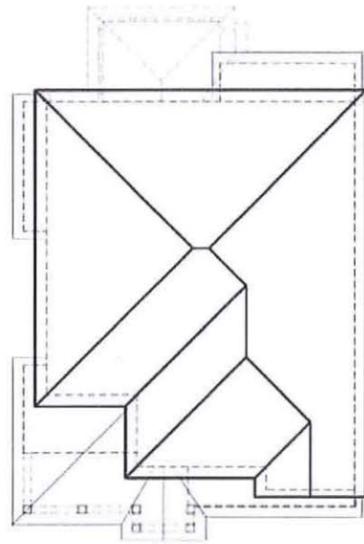
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NO. FOOT. SCALE# PLANS#

REVISIONS		
NO.	DATE	DESCRIPTION

PROJECT MANAGER:	AND
DESIGNER:	-
ARCHITECT BY:	IL
1ST FLOOR OPT. PRELIMINAL:	-
ISSUED FOR CONSTRUCTION:	-
JOB NUMBER:	2014132
CAD FILE NAME:	A412

DATE: 09/30/14  
 SHEET: A4.2



ROOF PLAN SCALE: 1/8" = 1'-0"

ELEVATION REFERENCE	A	ELEVATION STYLE	TRADITIONAL			
ROOF MATERIAL	STANDARD ROOF PITCH (V:H)	GABLE SLOPE (V:H)	GABLE SLOPE (V:H)	OVERHANG (IN)	L.S.C. SLOPE	
CONCRETE FLAT TILE	12:12	2X8	2X8	1'-6"	1'-0"	

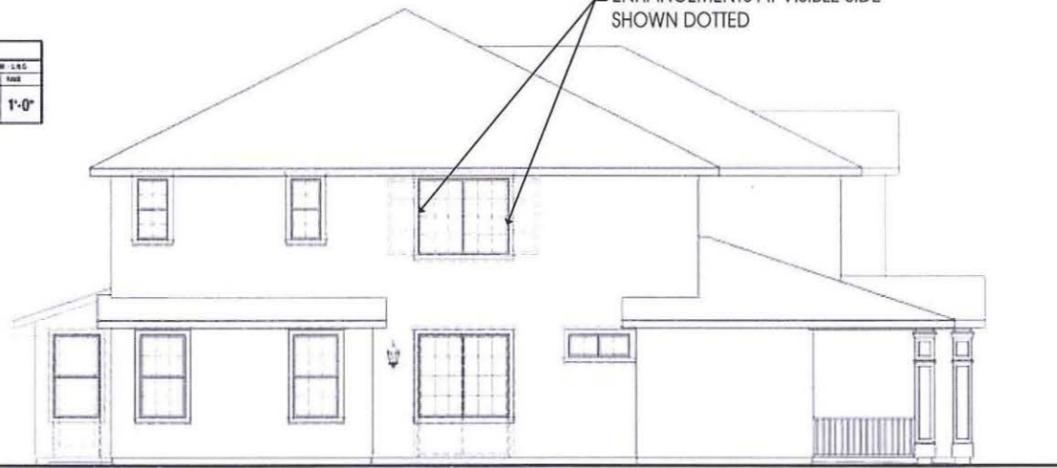
TRADITIONAL ("A") ELEVATION

- ROOF: FLAT CONCRETE TILE
- FASCIA: WOOD
- GABLE: FIBER CEMENT LAP SIDING (6" EXPOSURE) WITH CORBELS
- WALL: STUCCO
- TRIM: STUCCO
- WINDOW: WHITE VINYL
- SHUTTERS: PREFABRICATED OR WOOD
- MASONRY: BRICK VENEER
- PORCH: BOXED FIBER CEMENT OR WOOD COLUMNS & WOOD RAILING
- GARAGE DOOR: METAL SECTIONAL WITH OPT. WINDOWS



RIGHT

ENHANCEMENTS AT VISIBLE SIDE SHOWN DOTTED



LEFT

PROVIDE GRIDS AT VISABLE LEFT SIDE ELEVATION



REAR EXTERIOR ELEVATIONS



FRONT

SCALE: 1/4" = 1'-0"

ELEVATIONS - PLAN 4A - TRADITIONAL

CEDAR GLENN ESTATES  
OAKLEY, CALIFORNIA

KIPER DEVELOPMENT  
WALNUT CREEK, CALIFORNIA

WILLIAM HEZMALHALCH ARCHITECTS INC.  
3000 RICHFIELD AVENUE SUITE 200 SAN RAFAEL CA 94903  
415 252 7807 www.hezmalhalch.com No. 442 252 1529  
SCE/CALIFORNIA ARCHITECTS STATE LICENSE NO. 442 252 1529  
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S.F.D.

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NO.	DATE	DESCRIPTION

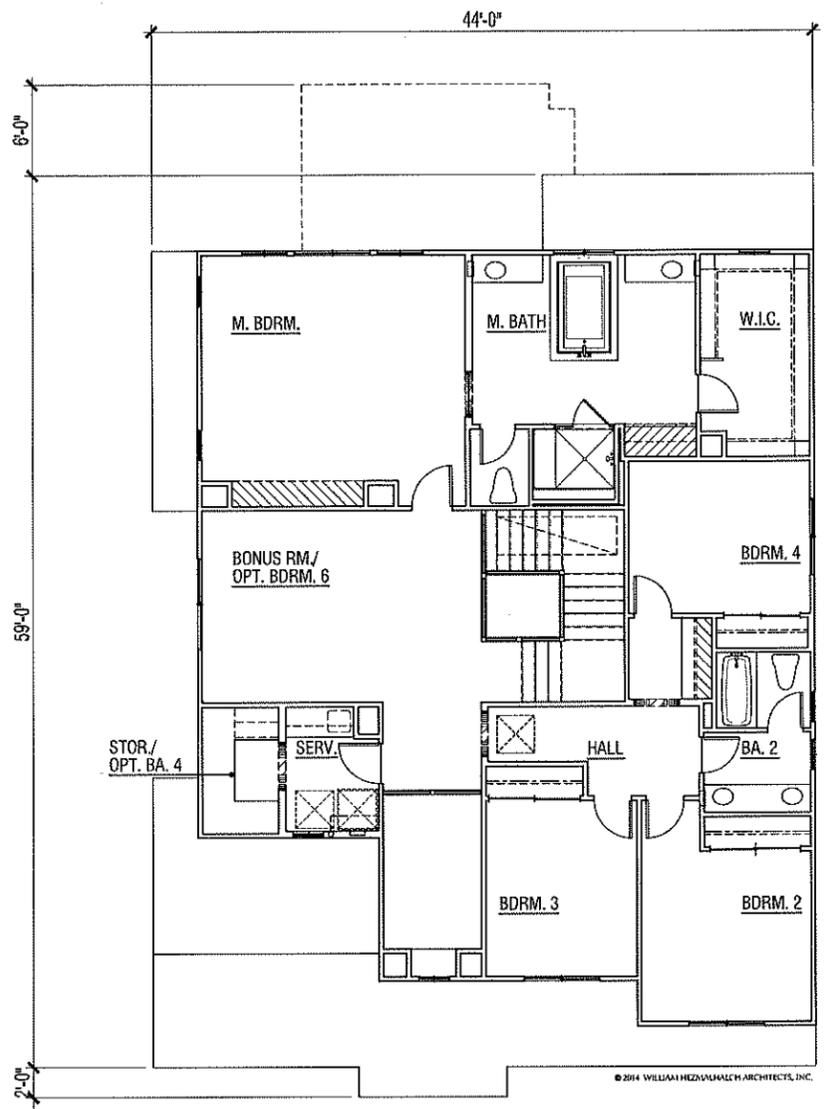
PROJECT MANAGER: AM  
DESIGNER: PL  
REVIEWER: PL  
DATE FOR CONSTRUCTION: 09/30/14  
SHEET: A4.3





WILLIAM HEZMALHALCH  
ARCHITECTS INC.  
200 HESBELL AVENUE SUITE 220 SANTA ANA CA 92705  
949 259 8827 www.hezmalhalch.com tel 949 259 1520  
REGISTERED ARCHITECT STATE OF CALIFORNIA LICENSE NO. 529463  
REGISTERED ARCHITECT STATE OF CALIFORNIA LICENSE NO. 529463

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UPPER FLOOR PLAN - PLAN 4B

**CEDAR GLENN ESTATES**  
OAKLEY, CALIFORNIA

KIPER DEVELOPMENT  
WALNUT CREEK, CALIFORNIA

**FLOOR PLAN PLAN 4B - COTTAGE**

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NO.	DATE	DESCRIPTION

FLOOR AREA TABLE	PLAN 4B
LOWER FLOOR PLAN	1565 SQ. FT.
UPPER FLOOR PLAN	1717 SQ. FT.
TOTAL	3282 SQ. FT.
GARAGE	872 SQ. FT.
PORCH	184 SQ. FT.
OPTIONAL CALIFORNIA ROOM	179 SQ. FT.

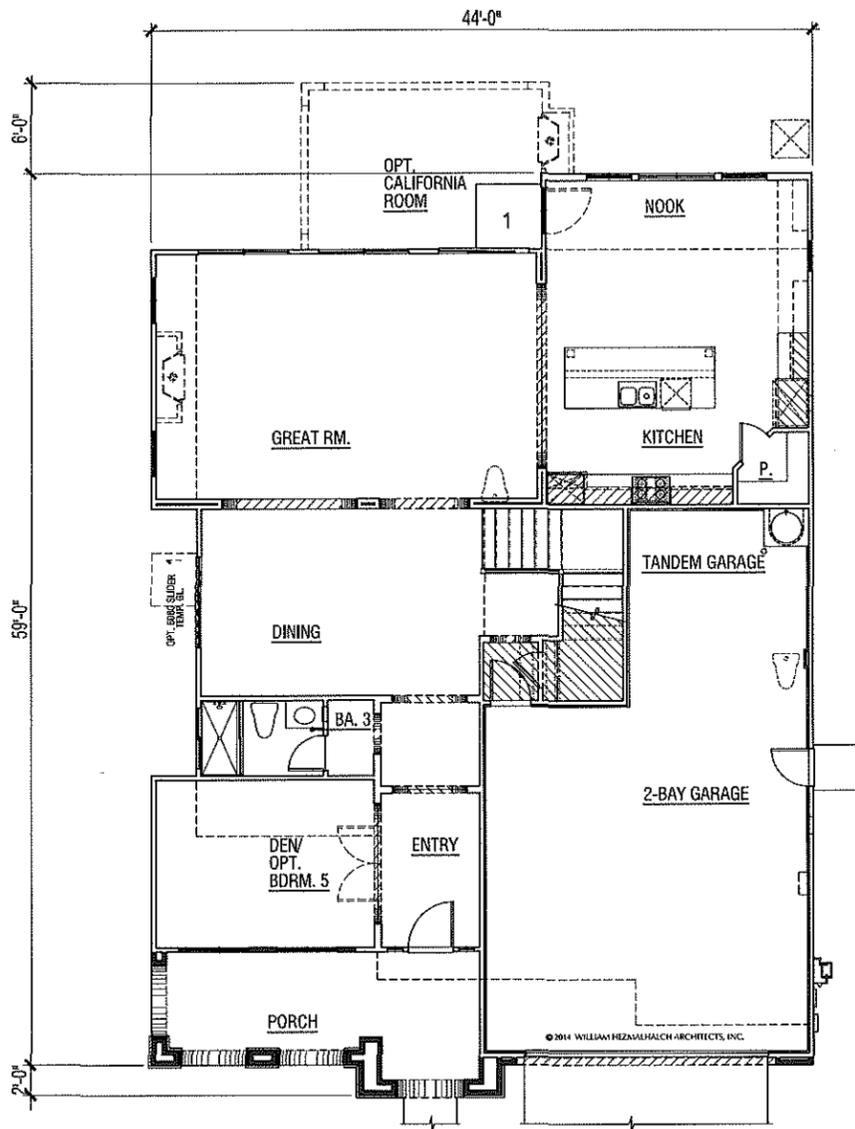
NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

SCALE: 1/4" = 1'- 0"

PROJECT NUMBER:	
DESIGNER:	AH
DRAWN BY:	-
REVIEWED BY:	AL
1ST REVISION SUBMITTAL:	-
ISSUED FOR CONSTRUCTION:	-
JOB NUMBER:	2014032
CAD FILE NAME:	A002
DATE:	09/30/14
SHEET:	A4.5



  
**WILLIAM HEZMALHALCH ARCHITECTS INC.**  
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 949 250 1827 www.hezmalhalch.com tel 949 250 1829  
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 tel 949 250 1829



LOWER FLOOR PLAN - PLAN 4C

S.F.D.

**CEDAR GLENN ESTATES**  
 OAKLEY, CALIFORNIA  
 KIPER DEVELOPMENT  
 WALNUT CREEK, CALIFORNIA

FLOOR PLAN - PLAN 4C - TUSCAN

FLOOR AREA TABLE	PLAN 4C
LOWER FLOOR PLAN	1565 SQ. FT.
UPPER FLOOR PLAN	1717 SQ. FT.
TOTAL	3282 SQ. FT.
GARAGE	672 SQ. FT.
PORCH	184 SQ. FT.
OPTIONAL CALIFORNIA ROOM	179 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

SCALE: 1/4" = 1'- 0"

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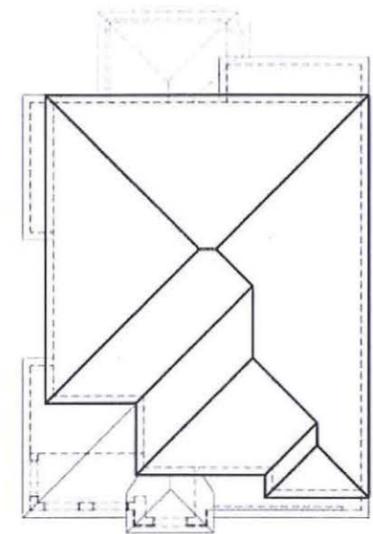
REVISIONS		
NO.	DATE	DESCRIPTION

PROJECT NUMBER: AM  
 DESIGNED BY: AM  
 CHECKED BY: PL  
 PREPARED BY: PL  
 DATE FOR CONSTRUCTION: -  
 JOB NUMBER: 2014002  
 CDD FILE NAME: AM01

DATE: 09/30/14  
 SHEET: A4.7



S.F.D.



**ROOF PLAN** SCALE: 1/8" = 1'-0"

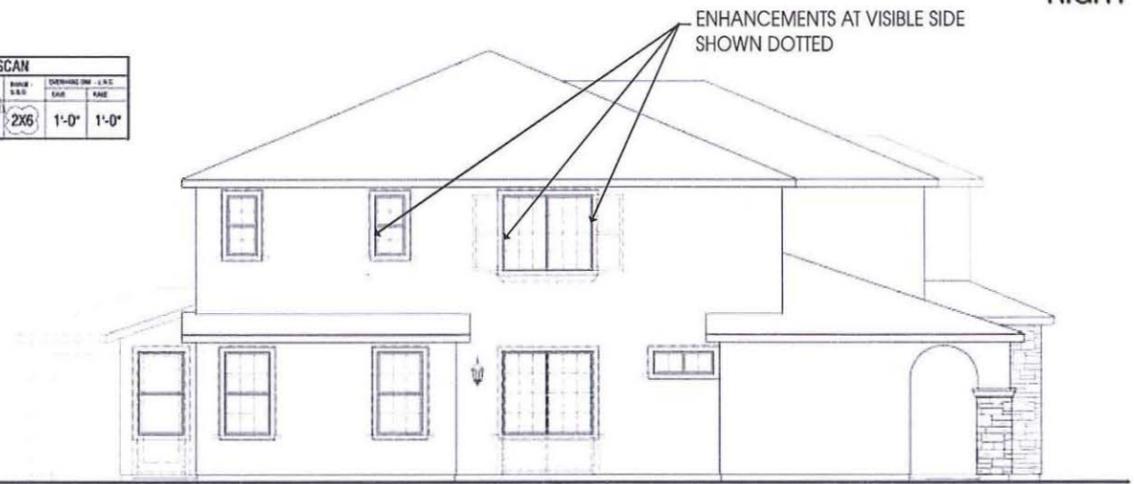


**RIGHT**

ELEVATION REFERENCE	C	DESCRIPTION	TUSCAN	UNIT	SCALE
ROOF TILE		CONCRETE S TILE	2X6	2X6	1'-0" 1'-0"

**TUSCAN ("C") ELEVATION**

- ROOF: "S" SHAPED CONCRETE TILE
- FASCIA: WOOD
- WALL: STUCCO
- TRIM: STUCCO
- WINDOW: WHITE VINYL
- SHUTTERS: PREFABRICATED OR WOOD
- MASONRY: MANUFACTURED STONE VENEER
- GARAGE DOOR: METAL SECTIONAL WITH OPT. WINDOWS



**LEFT**



**REAR EXTERIOR ELEVATIONS**



**FRONT**

SCALE: 1/4" = 1'-0"

**CEDAR GLENN ESTATES**  
 OAKLEY, CALIFORNIA  
 KIPER DEVELOPMENT  
 WALNUT CREEK, CALIFORNIA

**ELEVATIONS - PLAN 4C - TUSCAN**

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REVISIONS		
NO.	DATE	DESCRIPTION

PROJECT MANAGER	
DESIGNER	
DRAWN BY	
REVIEWED BY	
TITLE BLOCK DEPT. SUBMITTAL	
ISSUED FOR CONSTRUCTION	
JOB NUMBER	201402
CAD FILE NAME	A4.9
DATE	09/30/14
SHEET	A4.9

REVISIONS	

Thomas Baak & Associates, L.L.P.  
Landscape Architects  
1409 North Main Street, Suite 4  
Walnut Creek, CA 94596  
Ph: 925.933.2583

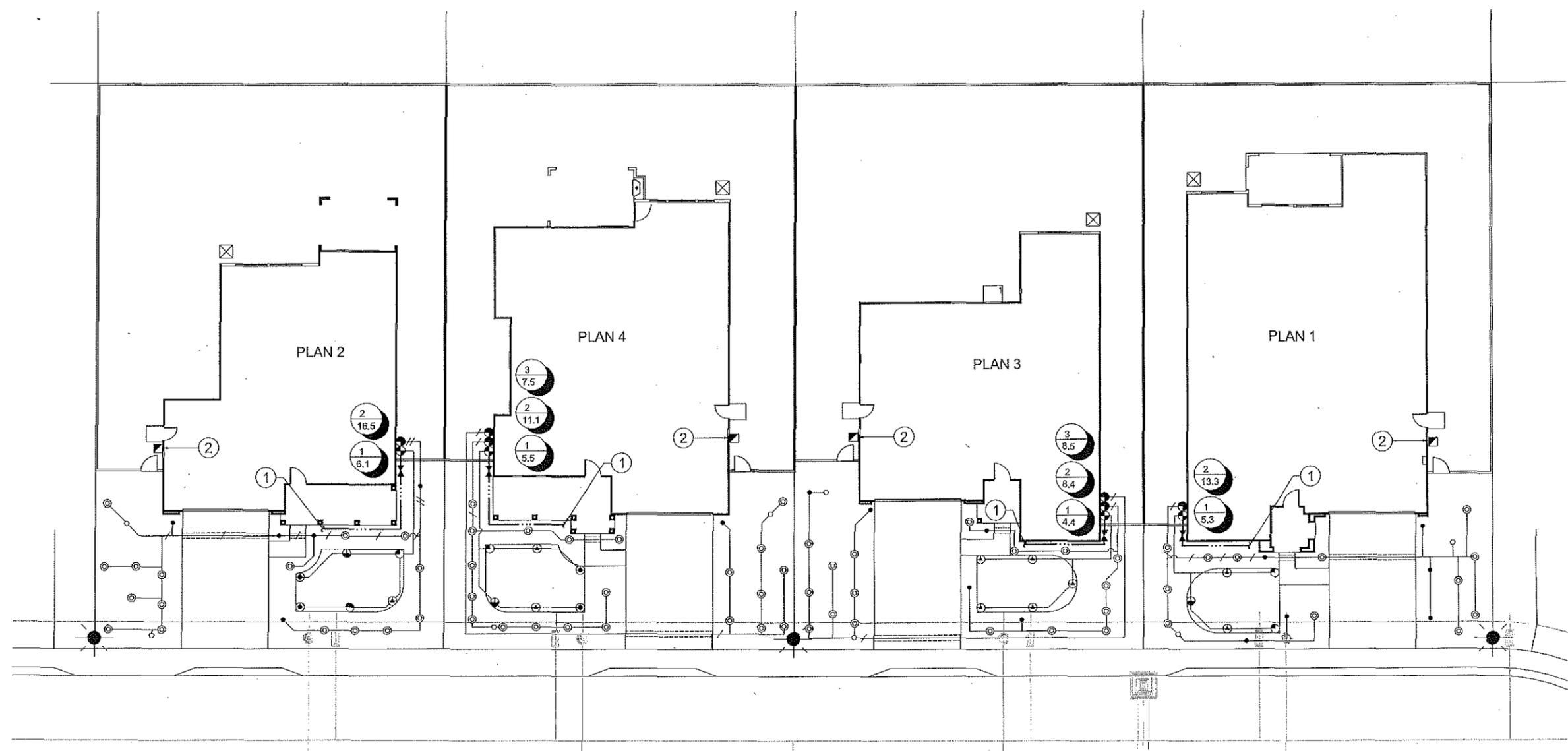


LANDSCAPE TYPICALS  
CUTINO PROPERTY  
OAKLEY, CALIFORNIA  
KIPER DEVELOPMENT

FRONT YARD  
IRRIGATION  
PLAN

DESIGNED: AS	DRAWN: RC
CHECKED: [ ]	JOB NO: [ ]
DATE: 10-29-14	
SCALE: NOTED	

SHEET  
L-1  
OF SHEETS



**WATER EFFICIENT LANDSCAPE WORKSHEET**  
**PLAN 2 INTERIOR LOT**

**MAXIMUM APPLIED WATER ALLOWANCE: ESTIMATED TOTAL WATER USE:**

MAWA = (ET<sub>o</sub>)(0.62)[(0.7 x LA) + (0.3 x SLA)]    ETWU = (ET<sub>o</sub>)(0.62)[(PF x HA) / IE + SLA]  
MAWA = (48.3)(0.62)[(0.7 x 1,333) + (0.3 x 0)]    ETWU = (48.3)(0.62)[(483.9) / 0.71 + 0]  
MAWA = (29,946)[(557.2) + (0)]    ETWU = (29,946)[681.5492]  
MAWA = 27,942 GALLONS PER YEAR    ETWU = 20,410 GALLONS PER YEAR

ETWU ≤ MAWA

**HYDROZONE INFORMATION TABLE**

VALVE NO.	PLANT WATER USE TYPE	PLANT FACTOR	IRRIGATION METHOD	HYDROZONE AREA (SQUARE FEET)	PF x HA (SQUARE FEET)
1	HIGH	0.7	SPRAY	210	147
2	LOW	0.3	DRIP	1123	336.9
<b>TOTAL:</b>				<b>1333</b>	<b>483.9</b>

**LANDSCAPE IRRIGATION AUDITS:**

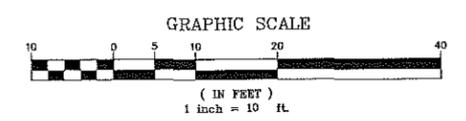
WATER AUDITS FOR THE LANDSCAPE IRRIGATION SYSTEM SHALL BE CONDUCTED ONCE EVERY FIVE YEARS (60 MONTHS) AFTER FINAL ACCEPTANCE OF THE PROJECT LANDSCAPE INSTALLATION. THE AUDITS SHALL BE CONDUCTED BY A CERTIFIED LANDSCAPE IRRIGATION AUDITOR IN ACCORDANCE WITH THE CALIFORNIA LANDSCAPE WATER MANAGEMENT PROGRAM, AS DESCRIBED IN THE LANDSCAPE IRRIGATION AUDITOR HANDBOOK.

**IRRIGATION LEGEND:**

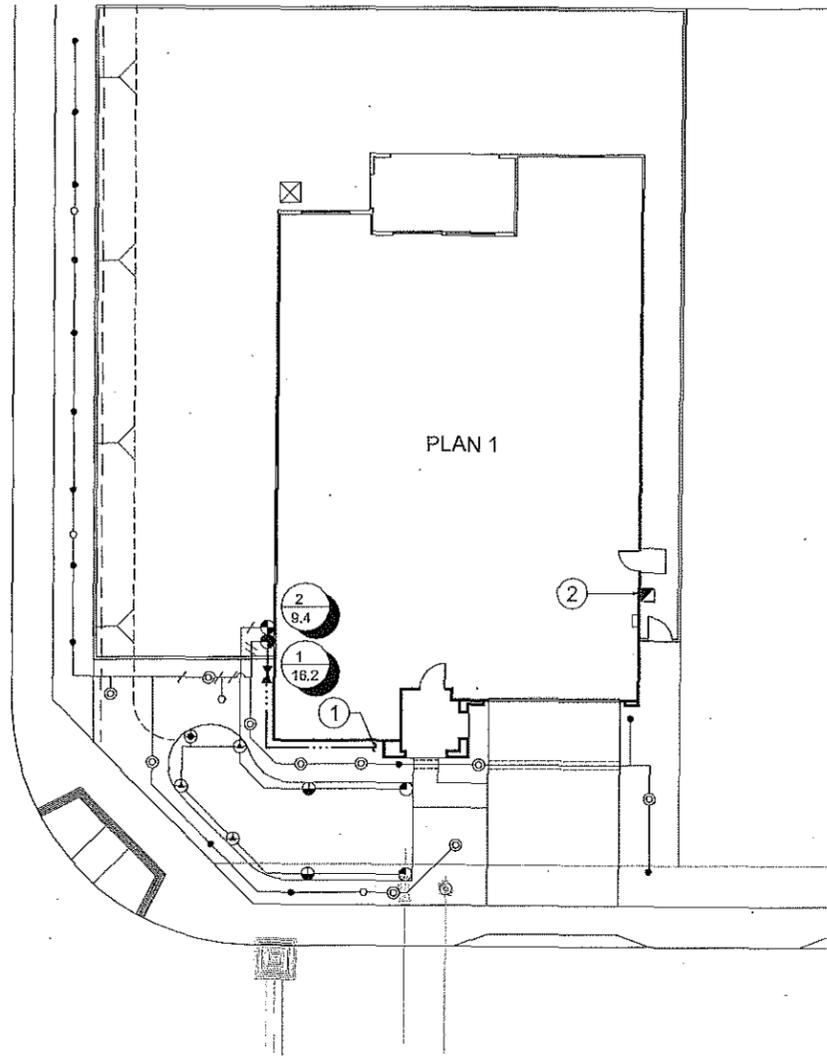
- ☑ 'IRRITROL' #SD600-EXT 6 STATION EXTERIOR WALL-MOUNT CONTROLLER WITH WEATHERTRAK TECHNOLOGY
- ✂ 'KING BROS' SCHEDULE 80 PVC BALL VALVE; LINE SIZE
- ⊕ 'RAINBIRD' #100-ASVF 1" ANTI-SIPHON REMOTE CONTROL VALVE
- ⊕ 'RAINBIRD' #100-ASVF 1" ANTI-SIPHON REMOTE CONTROL VALVE AND 'AMIAD' FILTER WITH #150 MESH SCREEN
- MAIN LINE: 1-1/4" CLASS 315 PVC PIPE WITH SCHEDULE 40 PVC SOLVENT-WELD FITTINGS; ALL CUTS TO BE SQUARE, PRIMER TO BE USED, PROVIDE 18" (MIN.) COVER
- LATERAL LINE: CLASS 200 PVC PIPE WITH SCHEDULE 40 PVC SOLVENT-WELD 3/4" FITTINGS; SEE PLAN FOR LINE SIZE. ALL CUTS TO BE SQUARE, PRIMER 1" TO BE USED. PROVIDE 12" (MIN.) COVER
- 4" SCHEDULE 40 PVC PIPE SLEEVES UNDER PAVING (6" FOR SHARED PIPES GROUPED IN SLEEVES); PROVIDE 24" (MIN.) COVER BELOW FINISH BASE ROCK GRADE
- XX CONTROLLER STATION NUMBER
- 0.007 GALLONS PER MINUTE
- ⊕ 'RAINBIRD' #1804 SAM 15H, 15Q, 15VAN LAWN 4" POP-UP SPRAY HEAD
- ⊕ 'RAINBIRD' #1804 SAM 12H, 12Q, 12VAN " " "
- ⊕ 'RAINBIRD' #1804 SAM 10Q, 10VAN " " "
- ⊕ 'PEPCO' #856 OCTABUBBLER (BLACK, 0.80 GPM HEAD) EMITTER SCHEDULE: (2) PER 5 GAL. PLANT, (1) PER 1 GAL. PLANT
- 'PEPCO' #5633 QUADRABUBBLER (BLACK, 0.40 GPM HEAD) EMITTER SCHEDULE: (2) PER 5 GAL. PLANT, (1) PER 1 GAL. PLANT
- 'PEPCO' #9633 QUADRABUBBLER (RED, 0.65 GPM HEAD) EMITTER SCHEDULE: (1) HEAD PER TREE
- ① POINT-OF-CONNECTION TO WATER SUPPLY: PROVIDE CONNECTION TO DOMESTIC WATER SERVICE WITH COMPRESSION TEE AND ADAPT TO NEW 1-1/4" PVC MAIN LINE. VERIFY LOCATION WITH PROJECT SUPERINTENDENT IN FIELD. VERIFY A MINIMUM AVAILABLE STATIC WATER PRESSURE OF 70 PSI; IF EXCEEDS 85 PSI INSTALL 'WILKINS' #600 PRESSURE REGULATOR IN 10" ROUND VALVE BOX. VERIFY A MINIMUM AVAILABLE FLOW OF 16.2 GPM.
- ② EXTERIOR WALL-MOUNT CONTROLLER: PROVIDE 120 VOLT POWER WITHIN RIGID CONDUIT FROM SOURCE STUBBED-OUT BY ELECTRICAL CONTRACTOR TO CONTROLLER LOCATION; FINAL LOCATION ON WALL TO BE COORDINATED WITH PROJECT SUPERINTENDENT. ALL ABOVE GRADE CONTROL WIRES SHALL BE CONTAINED WITHIN PVC ELECTRICAL CONDUIT SECURELY FASTENED TO EXTERIOR WALL.

**GRAPHIC NOTE:**

IRRIGATION PLAN IS A SCHEMATIC REPRESENTATION OF THE DESIGN. ALL IRRIGATION PIPES AND VALVES SHOWN IN PAVING AREAS SHALL BE INSTALLED IN ADJACENT PLANTERS ALONG BACK OF PAVING AS SITE CONSTRAINTS ALLOW. SLEEVE LOCATIONS ARE SHOWN RELATIVE TO RELATED SITE PAVING LOCATIONS.



REFER TO SHEET L-2 FOR NOTES AND DETAILS



WATER EFFICIENT LANDSCAPE WORKSHEET  
PLAN 1 CORNER LOT

MAXIMUM APPLIED WATER ALLOWANCE: ESTIMATED TOTAL WATER USE:  
 MAWA = (ET<sub>o</sub>)(0.62)[(0.7 x LA) + (0.3 x SLA)] ETWU = (ET<sub>o</sub>)(0.62)[(PF x HA) / IE + SLA]  
 MAWA = (48.3)(0.62)[(0.7 x 1,602) + (0.3 x 0)] ETWU = (48.3)(0.62)[(621.4) / 0.71 + 0]  
 MAWA = (29,946)[(1,121.4) + (0)] ETWU = (29,946)[875.2112]  
 MAWA = 33,581 GALLONS PER YEAR ETWU = 26,209 GALLONS PER YEAR  
 ETWU ≤ MAWA

HYDROZONE INFORMATION TABLE

VALVE NO.	PLANT WATER USE TYPE	PLANT FACTOR	IRRIGATION METHOD	HYDROZONE AREA (SQUARE FEET)	PF x HA (SQUARE FEET)
1	LOW	0.3	DRIP	1250	375
2	HIGH	0.7	SPRAY	352	246.4
TOTAL:				1602	621.4

LANDSCAPE IRRIGATION AUDITS:

WATER AUDITS FOR THE LANDSCAPE IRRIGATION SYSTEM SHALL BE CONDUCTED ONCE EVERY FIVE YEARS (60 MONTHS) AFTER FINAL ACCEPTANCE OF THE PROJECT LANDSCAPE INSTALLATION. THE AUDITS SHALL BE CONDUCTED BY A CERTIFIED LANDSCAPE IRRIGATION AUDITOR IN ACCORDANCE WITH THE CALIFORNIA LANDSCAPE WATER MANAGEMENT PROGRAM, AS DESCRIBED IN THE LANDSCAPE IRRIGATION AUDITOR HANDBOOK.

IRRIGATION NOTES:

**GENERAL NOTES:** Do not willfully install the irrigation system as shown on the drawings when it is obvious in the field that obstructions, grade differences or differences in area dimensions exist that might not have been considered in the design of the system. Such obstructions or differences should be brought to the attention of the Landscape Architect. Notify Landscape Architect of any aspects of layout, which will provide incomplete or insufficient water coverage of plant material and do not proceed until the instructions are obtained. In the event this notification is not performed, the Irrigation Contractor shall assume full responsibility for any revisions necessary. It is the responsibility of the Irrigation Contractor to familiarize himself with all the grade differences, location of walls, retaining walls, etc. prior to construction. It shall be the Contractor's responsibility to protect in place (by all means necessary) all existing utilities unless otherwise specified on the plans. City standard drawings, specifications, specific notes & detail drawings and the soils report take precedence over general drawings and plans unless otherwise directed. Any deviation from approved plans during construction will require 48 hours prior notice to the Landscape Architect. At least one set of plans shall be on the site at all times for inspection. Irrigation Contractor shall comply with all State, County and City laws and ordinances; and regulations of the Department of Industrial Relations, O.S.H.A. and Industrial Accident Commission relating to the safety and character of work, equipment and labor personnel. The Irrigation Consultant assumes no responsibility beyond the adequacy of the design contained herein.

**DRAWINGS:** Due to the scale of drawings, it is not possible to indicate all offsets, fittings, sleeves, etc., which may be required. The Contractor shall also carefully investigate the structural and finished conditions affecting all of his work, plan his work accordingly and furnish such fittings, etc. as may be necessary to meet such conditions. Drawings are generally diagrammatic and indicative of the work to be installed. The work shall be installed in such a manner as to avoid conflicts between irrigation system, planting and architectural features. All piping, valves, etc. shown within paved areas are for design clarification only and shall be installed in planting areas where possible.

**CONTROLLER:** Irrigation Contractor is to program timing of stations on controller to irrigate in the most efficient, water conserving manner possible. It is the responsibility of the Landscape Maintenance Contractor and/or the owner to program the Irrigation Controller to provide the minimum amount of water needed to sustain proper plant health. This includes making adjustments to the program for seasonal weather changes, plant material needs, water requirements, changes in elevation, sun, shade and wind exposures. Contractor shall assume responsibility for any damage, erosion, puddling, etc. due to improper programming. Electrical Contractor to supply 120-VOLT A.C. (2.5 AMP) service & disconnect, junction box and conduit, as necessary, to controller location. Irrigation Contractor to make final connection from electrical stub-out to controller. Install new 9-VOLT Duracell battery(s) in controller (if required) to retain program in memory during temporary power failures. Controller shall have ground wire as per manufacturer's instructions.

**VALVES:** Backflow Device, Isolation and Control Valve locations shown are diagrammatic. Install in groundcover/shrub areas where possible (not in lawn area), and at the edges of the planting areas so as to not interfere with plant hole excavation. Install valve boxes 12 inches from and perpendicular to: walks, curbs, etc. and each box shall be 12 inches apart. The short side of valve box shall be parallel to walk, curb, edge, etc. Install (1) valve per rectangular box inline with the length of the box. Locate Quick Coupling Valves 2 inches from landscape area. Irrigation Contractor to notify all local jurisdictions for inspection and testing of installed Backflow Device. If pressure exceeds 80 PSI, Contractor shall install Pressure Reducing equipment as required.

**WIRING:** Control wires shall be U.L. approved for direct burial in ground, Copper size #14-1. Common ground wire shall have white insulation jacket. Control wire shall have insulation jacket of color other than white. Splicing shall be done with 3M #357 Scotchlok seal packs. Splicing of 24-VOLT wires will not be permitted except in valve boxes. Leave a 24 inch coil of excess wire at each splice and at 100 feet on center along wire run. Tape wire in bundles at 10 feet on center. No taping permitted in sleeves. Install a control wire for each extra station left on the controller and a spare control wire of a different color along the entire main line. Loop 24 inches of excess wire into each single valve box and into one valve box in each group of valves.

**HEADS:** The Irrigation Contractor shall flush and adjust all sprinkler heads for optimum performance and to prevent overspray on walks, roadways, buildings and fences. This shall include selecting the best degree of arc to fit the site conditions and to provide the best flow control at each valve to obtain the optimum operating pressure for each system. Head layout and quantity is as close as possible at the scale of the drawing, the contractor shall adjust and add heads as necessary to provide optimum performance and coverage of all planted areas. At heads where low head drainage will occur, use manufacturer's integral h-head check valve or approved in-line check valve. All sprinkler heads shall be set perpendicular to the finish grade of the area to be irrigated unless otherwise designated on the plans. Heads shall be set 1/2" below and 2" away from adjacent walks, curbs or headers.

**DRIP HEADS:** Contractor shall install drip heads in plastic cans per detail; install port plug in any and all unused drip emitter ports; dislusion tubing shall not extend beyond manufacturer's recommendations (6 feet max.). Secure distribution tubing to grade with tubing metal staples at a maximum spacing of 24 inches. Provide plastic stake supports at distribution tubing terminus to anchor and secure emitter(s) over rootball; evenly space multiple emitter installations around plant rootball. Install "bug plugs" in every distribution tubing terminus.

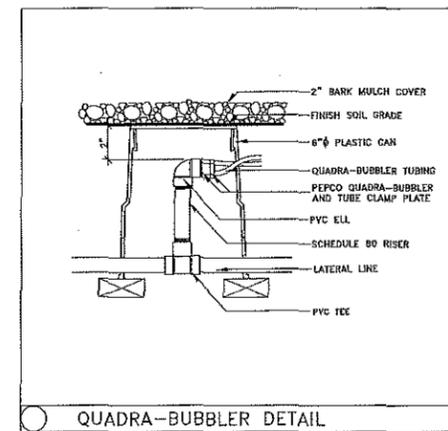
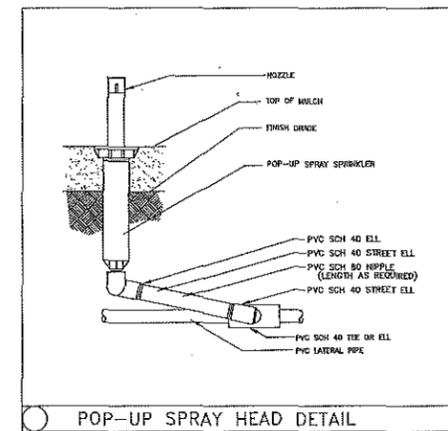
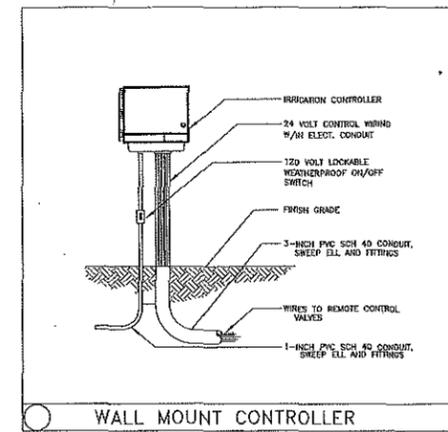
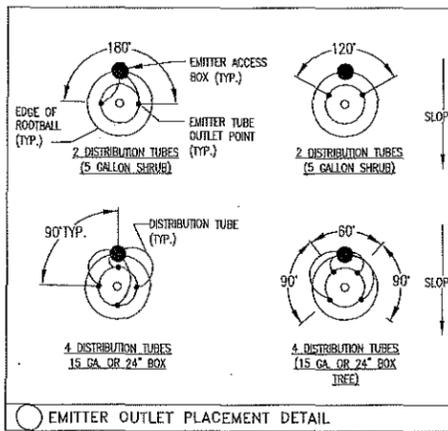
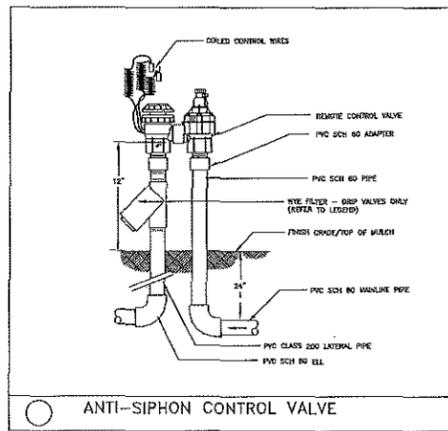
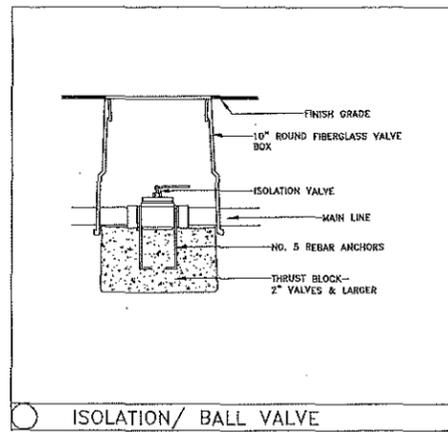
**PIPING/TRENCHING:** Install main line piping with concrete thrust blocks as per manufacturer's recommendation. Main and lateral lines shall be surrounded with a minimum of 2" of sand or rock free soil. Pipe sealant compound shall be Rector Seal T+2, Permatex 51 or Lasso #905305. Pressure the Main Line @ 150 PSI for 2 hours and the Lateral lines @ 100 PSI for 2 hours, where it is necessary to excavate adjacent to existing trees, the contractor shall use all possible care to avoid injury to trees, and tree root systems. Excavation in area where two (2) inch and larger roots exist shall be done by hand. Cut roots one (1) inch and larger in diameter shall be painted with two coats of tree seal, or equal. Trenches adjacent to trees should be closed within twenty-four (24) hours; and where this is not possible, the side of the trench adjacent to the tree shall be kept shaded with wet burlap or canvas.

**SLEEVES:** The Irrigation Contractor shall coordinate with the General Contractor and other Subcontractors for the location and the installation of sleeves, conduit or pipe through walls, under roadways, paving, structures, etc. prior to construction. In addition to the sleeves and conduits shown on the drawings, the Irrigation Contractor shall be responsible for the coordination and/or installation of sleeves and conduits of sufficient size under all paved areas.

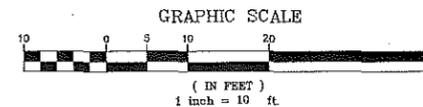
**IRRIGATION SYSTEM:** The irrigation system design is based on a minimum operating pressure (PSI) and a flow demand (GPM) as noted on plan. The Irrigation Contractor shall verify water pressure prior to construction. Report any difference between the water pressure indicated on the drawings and the actual pressure reading at the Irrigation Point-of Connection to the Landscape Architect. Failure to do so will result in the contractor being responsible for any necessary changes due to this difference.

**GUARANTEE:** All construction, parts and products by the Landscape Contractor and/or his subcontractors shall be guaranteed for one (1) full year after the beginning of the maintenance period. The contractor shall replace (at no expense to the Owner) any and all irrigation products that are in an unacceptable condition for the life of use. Replacement of any items shall match original description of items on construction plans and shall be installed per specification. The Contractor shall not be held liable for loss of irrigation parts or products due to vandalism, accidental causes, or acts of neglect by others than the Contractor, his agents or employees.

**DO NOT BID, ORDER MATERIALS OR INSTALL ANY OR ALL OF SYSTEM BEFORE READING THE IRRIGATION NOTES IN THEIR ENTIRETY. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL CHANGES, REVISIONS AND OR ADDITIONS TO SYSTEM DUE TO FAILURE TO DO SO.**



**GRAPHIC NOTE:**  
IRRIGATION PLAN IS A SCHEMATIC REPRESENTATION OF THE DESIGN. ALL IRRIGATION PIPES AND VALVES SHOWN IN PAVING AREAS SHALL BE INSTALLED IN ADJACENT PLANTERS ALONG BACK OF PAVING AS SITE CONSTRAINTS ALLOW. SLEEVE LOCATIONS ARE SHOWN RELATIVE TO RELATED SITE PAVING LOCATIONS.



REVISIONS


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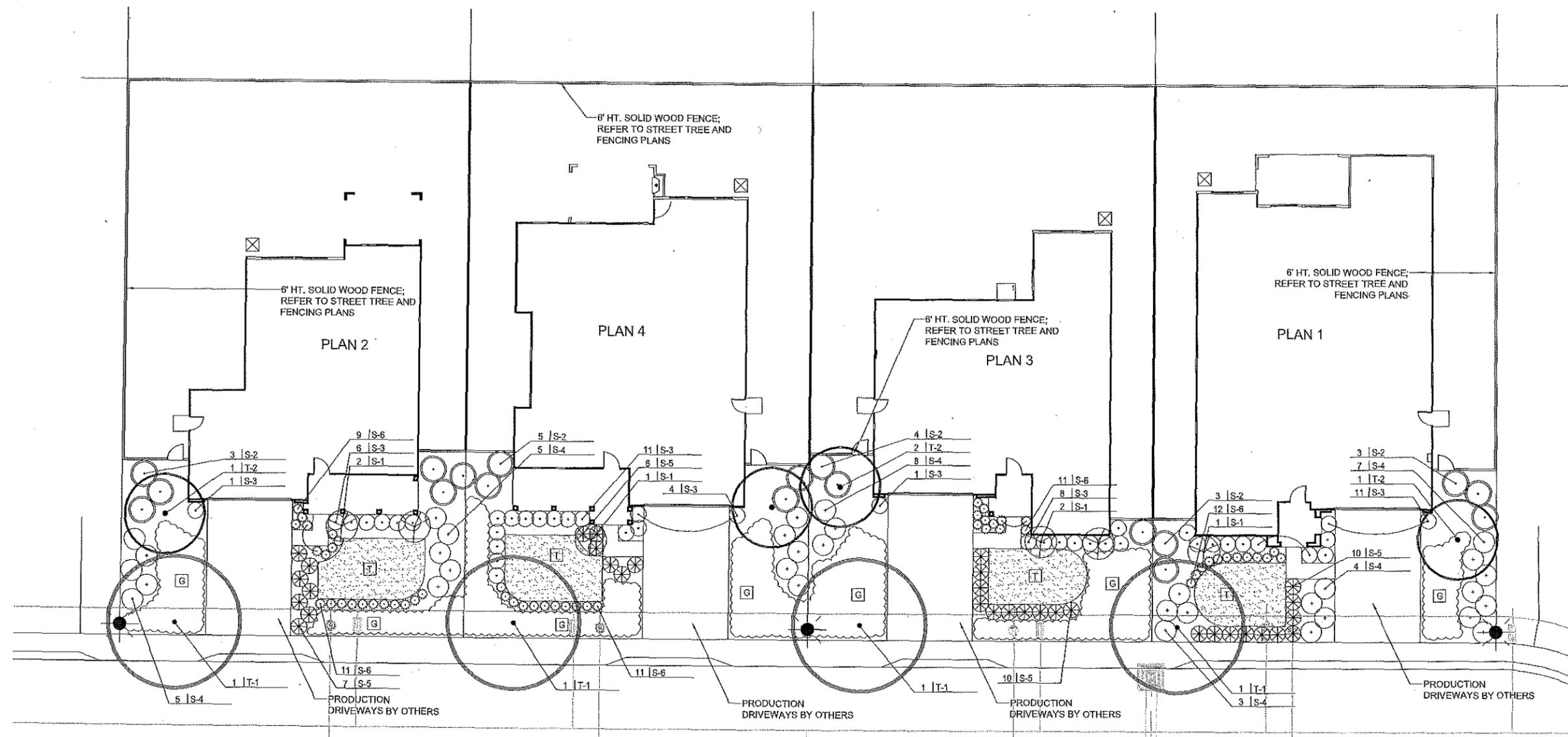


LANDSCAPE TYPICALS  
CUTINO PROPERTY  
OAKLEY, CALIFORNIA  
KIPER DEVELOPMENT

FRONT YARD  
IRRIGATION  
PLAN

DESIGNED: AS  
CHECKED: RC  
DATE: 10-29-14  
SCALE: NOTED

SHEET  
L-2  
OF SHEETS



**SUGGESTED PLANT MATERIALS LIST:  
FRONT YARD LANDSCAPE**

- TREES: TO BE 15 GAL. SIZE**  
 T-1 STREET TREE; REFER TO STREET TREE AND FENCING PLAN  
 T-2 ARBUTUS 'MARINA' (ARBUTUS)  
 PRUNUS CER. 'KRAUTER VESUVIUS' (FLOWERING PLUM)
- SHRUBS:**  
 S-1 STANDARD SHRUB: TO BE 5 GAL. SIZE  
 LAVATERA ASSURGENTIFLORA (TREE MALLOW)  
 RHAPHIOLEPIS 'MAJESTIC BEAUTY' (INDIA HAWTHORN)
- S-2 LARGE SHRUBS: TO BE 5 GAL. SIZE  
 COTONEASTER LACTEUS (COTONEASTER)  
 ELAEAGNUS P. 'MACULATA' (GOLDEN SILVERBERRY)  
 FEJJOA SELLOWIANA (PINEAPPLE GUAVA)
- S-3 HEDGING SHRUBS: TO BE 5 GAL. SIZE  
 LIGUSTRUM TEXANUM (WAX LEAF PRIVET)  
 NERIUM O. 'PETITE PINK' (DWARF OLEANDER)  
 RHAPHIOLEPIS 'JACK EVANS' (INDIA HAWTHORN)

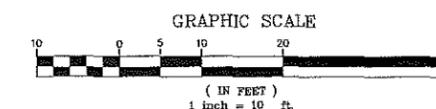
- S-4 MEDIUM SHRUBS: TO BE 5 GAL. SIZE  
 ABELIA 'EDWARD GOUCHER' (ABELIA)  
 COLEONEMA PULCHRUM (PINK BREATH OF HEAVEN)  
 NANDINA 'FIREPOWER' (DWARF HEAVENLY BAMBOO)
- S-5 SMALL SHRUBS: TO BE 5 GAL. SIZE  
 BUXUS M. 'GREEN BEAUTY' (BOXWOOD)  
 ESCALLONIA 'COMPACTA' (DWARF ESCALLONIA)  
 PUNICA GRANATUM 'NANA' (COMPACT POMEGRANTE)
- S-6 SMALL ACCENT SHRUBS: TO BE 1 GAL. SIZE  
 ASPARAGUS D. 'SPRENGER' (ASPARAGUS FERN)  
 DIETES IRIDOIDES (FORTNIGHT LILY)  
 PHORMIUM T. 'BRONZE BABY' (DWARF FLAX)
- G GROUNDCOVER: TO BE 1 GAL. SIZE  
 COPROSMA 'VERDE VISTA' (COPROSMA) @ 30" O.C.
- T TURF FROM DWARF TALL FESCUE SOD ROLLS

**NOTES FOR PLANT MATERIAL SELECTION:**

1. ROTATE PLANT MATERIALS LOT TO LOT SO THAT THE PLANT PALETTE FOR ADJOINING LOTS IS DIFFERENT ESPECIALLY AT THE FRONT ENTRIES.
2. IF A PLANT MATERIAL GROUPING CROSSES THE PROPERTY LINE BETWEEN LOTS, USE ALL OF ONE SPECIES OF PLANT FOR THAT GROUPING.

**ADDITIONAL NOTES:**

1. ALL PLANTING AREAS (EXCEPT LAWNS) SHALL RECEIVE A 3" LAYER OF FIREBARK TOP DRESSING MULCH (NUGGET NOT SHREDDED).
2. ALL FRONT YARD LANDSCAPE AREAS SHALL BE WATERED BY A WATER CONSERVING AUTOMATIC IRRIGATION SYSTEM AT EACH LOT.



REFER TO SHEET L-4 FOR NOTES AND DETAILS

REVISIONS	

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 Ph. 925.931.5283

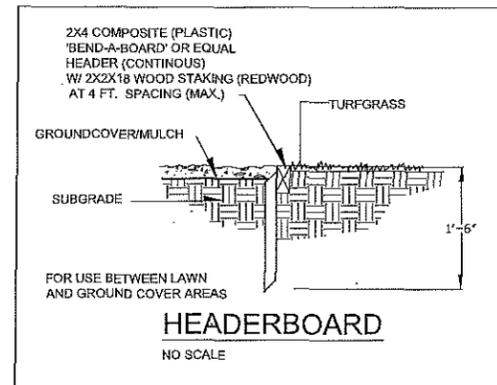
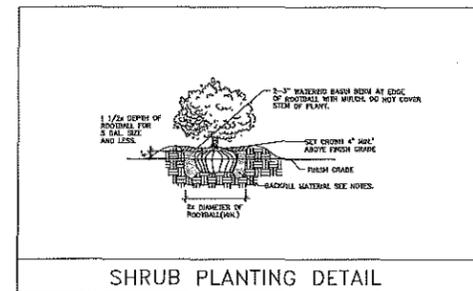
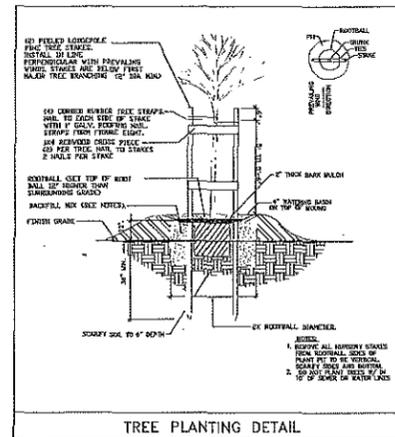
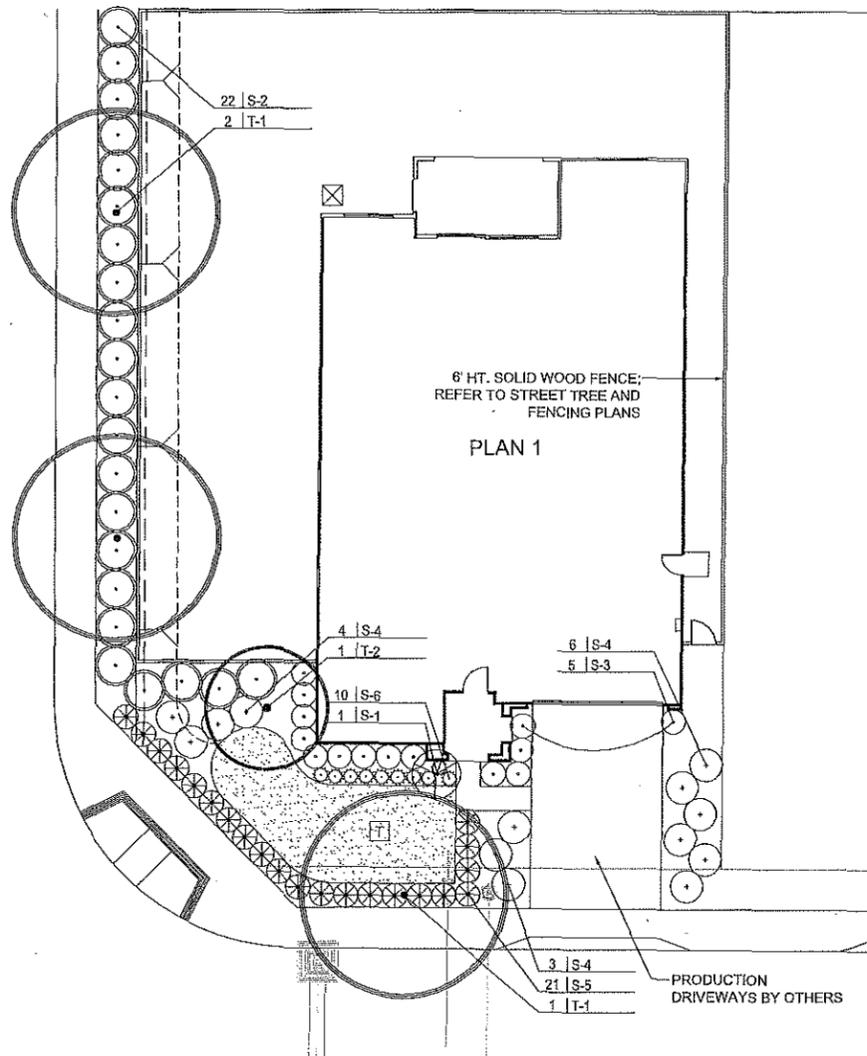


**LANDSCAPE TYPICALS  
CUTINO PROPERTY  
OAKLEY, CALIFORNIA  
KIPER DEVELOPMENT**

**FRONT YARD  
PLANTING PLAN**

DESIGNED: AS	DRAWN: RC
CHECKED:	JOB NO.:
DATE 10-29-14	
SCALE NOTED	

SHEET  
**L-3**  
 OF SHEETS



### PLANTING NOTES:

**GENERAL NOTES:** The Landscape Contractor shall inspect the site and be familiar with all existing site conditions prior to submitting his bid. Contractor shall not willfully proceed with construction as shown when it is obvious that obstructions, landscape area and/or grade differences exist that may not have been known during design. Such conditions shall immediately be brought to the attention of the Landscape Architect. The contractor shall assume full responsibility for all necessary revisions due to failure to give such notification. Contractor shall be responsible for making himself familiar with all underground utilities, pipes, structures and obstructions. Contractor shall take sole responsibility for all costs incurred due to damage and/or replacement of these items. Contractor shall be responsible for coordination between trades and subcontractors as required to accomplish landscape operations. The Landscape Contractor shall be responsible for any damage to existing facilities caused by or during the performance of his work. All repairs shall be made at no cost to the Owner. Planting shall be installed in conformance with all applicable local codes and ordinances by experienced workmen and a licensed Landscape Contractor who shall obtain all necessary permits and pay all required fees.

**SOIL PREPARATION:** The Landscape Contractor shall be responsible for finish grading and all planting area drainage. Positive drainage away from the building as per city codes shall be maintained. No low spots which hold standing water will be accepted. The Landscape Contractor shall incorporate soil preparation amendment into planting areas as noted below. Where rototilling is not possible, incorporate soil amendments to top 6 inches with hand tools. After installation of irrigation system, all planting areas are to be fine graded to within 2 inches and slightly mounded away from edges of top of planter, curb, walk, header, etc. and raked smooth with all rocks and debris over 1 inch in diameter removed.

**SOIL PREPARATION AMENDMENTS AND BACKFILL MIX:** The Landscape Contractor shall amend existing soil, by rototilling, 6 cu. yd. BFI 'Super Humus' compost and 15 lbs. organic balanced fertilizer 'Phyta-Boost' (7-1-2) per 1,000 sq. ft. available from California Organics or equal into the top 6 inches of soil in all planting areas. (or equal PH Planting Mix; for trees and shrubs mix 1/3 organic amendment, 2/3 amended topsoil as noted above).

**TREE PLANTING:** The trees are to be planted as per detail on plan. Trees shall typically be located a minimum of 4 feet from curbs, walks, headers, buildings, overheads, and other trees within the project, backfill shall be the 'PH Planting Mix' as noted above. All trees shall receive organic fertilizer 'Phyta Boost' 7-1-2 avail. from California Fertilizer Company Inc. (or equal) for 15 gallon trees: 1 cup, for 6 gallon trees and shrubs: 1/2 cup. Thoroughly water trees immediately after planting.

**ROOT BARRIERS:** All trees planted within 5' of a paved surface shall receive a linear type root barrier 18" deep and 10' long along adjacent paving edges, centered on the tree trunk. (See detail)

**SHRUB PLANTING:** The shrubs shall be spotted as per plan and the locations approved prior to the digging of the holes. Shrub backfill shall be the 'PH Planting Mix' as noted in 'Backfill soil mixes'. All shrubs shall receive 'Phyta-Boost' 7-1-2 organic fertilizer avail from California Fertilizer Company Inc. (or equal) at the following rates: For 6 gallon shrubs: 1/2 cup for, 1 gallon shrubs: 1/4 cup. Thoroughly water shrubs immediately after planting. Do not plant any plant within 20" of any building wall.

**MULCHING:** Mulch all planting areas, excluding lawn and storm water bioswale areas, having a slope less than 2:1 with a 3 inch minimum depth of recycled wood fiber, UV stabilized, dyed-colorfast black with a PH of no higher than 5.0, and free of noxious weeds and foreign materials. #135 Black Chip from 'Re-User Inc.' or approved equal.

**SOD LAWN:** Sod shall be as specified on drawings and installed as per suppliers specifications. Remove from all turf areas, stones (1" or larger), mortar, concrete, asphalt, rubbish, debris and materials harmful to plant life. Remove noxious weed growth and roots. Thoroughly mix and pulverize the following proportions of materials (lightly compacted measurements) to a minimum depth of 6-8 inches while in a moist, friable condition: 6 cu yards of BFI 'super humus' compost per 1000 sq ft. of lawn area and 15 lbs per 1000 organic fertilizer 'Phyta-Green' Turf Fertilizer 8-2-2 available from California Organic fertilizer Inc. (or equal)

**LAWN MAINTENANCE:** Protect and maintain each area by watering, mowing, resodding or seeding as necessary for a minimum of 60 days after turf installation or to the end of the 90 day maintenance period (which ever is latest). Establish a thick, weed free uniform stand of grass. Mow grass at 1 1/2 inches in height when it attains a height of 2 inches. Apply 10 lbs per 1000 sq ft. of 'Phyta Green' Organic Lawn Fertilizer at end of maintenance period.

**MAINTENANCE:** The Contractor shall maintain the project for 90 days (or as requested by owner) following the approval to begin the maintenance period. During the entire maintenance period, watering, cultivating, weeding, mowing, repair/lightening of stakes and ties, restoration of basins, provision of supplemental water by hand in addition to irrigation system as necessary. No pre-emergence herbicides shall be applied- hand remove weeds. Only organic fertilizers shall be applied such as those specified above. Install per manufacturer's recommendations. At the end of the 90 day maintenance period all areas are to be weed free and all plant material is to be in a healthy, thriving condition. Integrated pest management practices shall be implemented.

**SUBSTITUTIONS:** Requests for substitutions of plant varieties shall be made to the Landscape Architect within 15 days after signing of contract.

**GUARANTEE:** All construction, trees and shrubs by the Landscape Contractor and/or his subcontractors shall be guaranteed for (1) one year after beginning of maintenance period. The contractor shall replace, at no expense to the Owner, any and all landscape materials that are in an unacceptable condition for time of use, and trees or shrubs that are dead or not in a vigorous, healthy growing condition; within two weeks of notification of such condition. Replacement shall be of the same kind and size as the originally specified item and shall be replaced as originally described on the drawings. The Contractor shall not be held liable for loss of plant materials during the guarantee period due to vandalism, accidental causes or acts of neglect by others than the Contractor, his agents and employees.

**CLEAN UP:** At the end of each work day, at the inspection for substantial completion and before acceptance of project, clean paved areas that are dirtied or stained by construction operations, by sweeping or washing, and remove debris and stakes. Remove construction equipment, excess materials and tools. Haul from Owners property the debris resulting from construction, and dispose of legally. Remove remaining temporary protection at time of acceptance by Owner unless otherwise agreed.

**FERTILIZERS:** Available California Fertilizers Company Inc. 1-800-269-5690 www.organicag.com  
www.californiaorganicfertilizers.com. Compost available from BFI 408-888-7632 www.bfi.com

**EXISTING TREES TO REMAIN:** Provide temporary fencing, barricades or guards as necessary to protect existing trees or other plants which are to remain, from above grade damage. Protect root systems from smothering. Do not store construction materials, debris or excavated material within drip line (outer perimeter of tree branches). Restrict vehicular and foot traffic within drip line to prevent excessive compaction of soil over root systems. Arborist's report, when present, takes precedent over these notes.

NO.	REVISIONS

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Walnut Creek, CA 94598  
PH: 925.932.2583

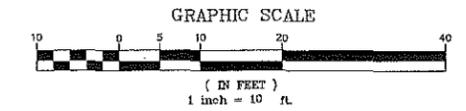


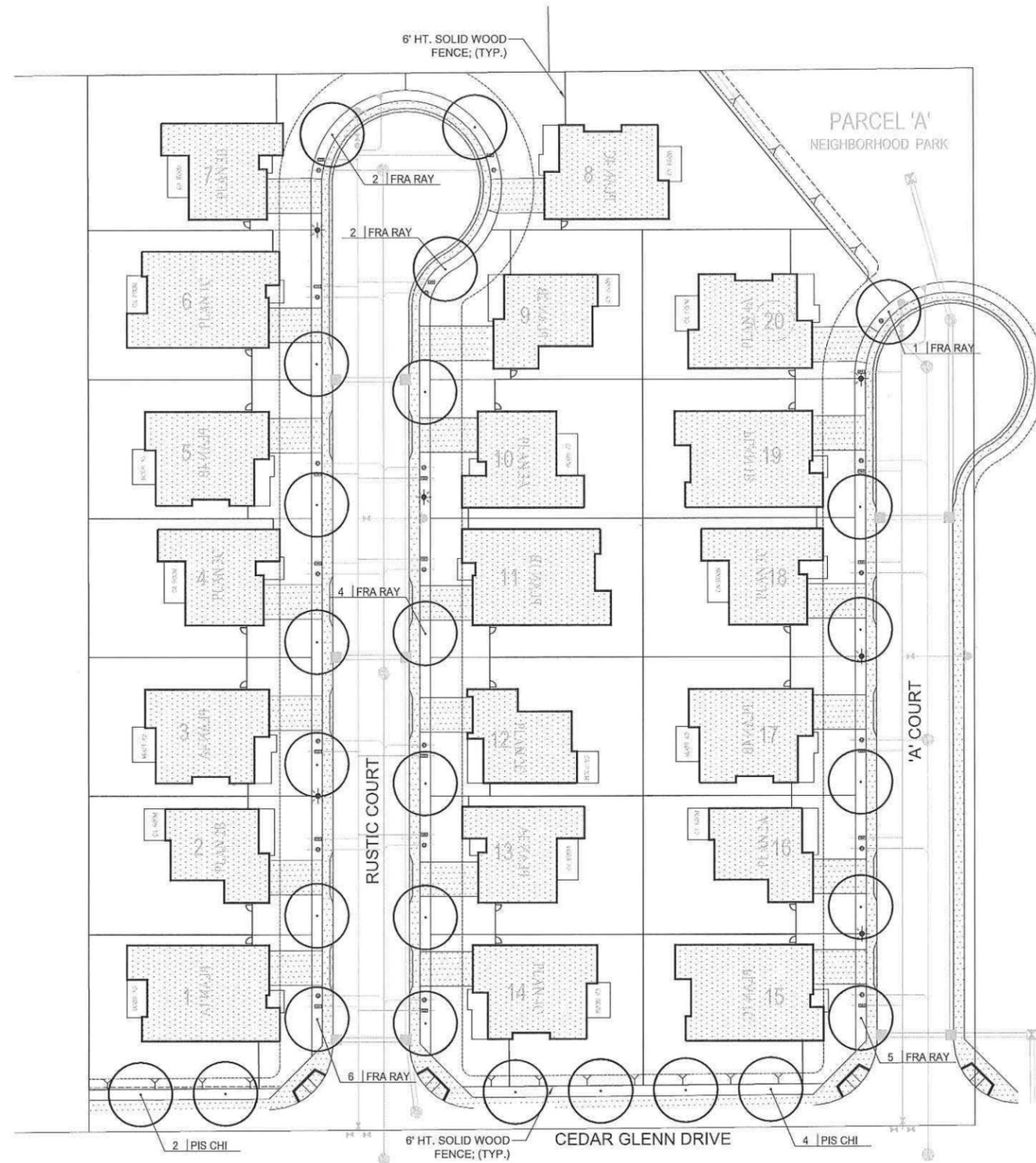
LANDSCAPE TYPICALS  
CUTINO PROPERTY  
OAKLEY, CALIFORNIA  
KIPER DEVELOPMENT

FRONT YARD  
PLANTING PLAN

DESIGNED: AS	DRAWN: RC
CHECKED:	JOB NO.:
DATE 10-29-14	
SCALE NOTED	

SHEET  
L-4  
OF SHEETS

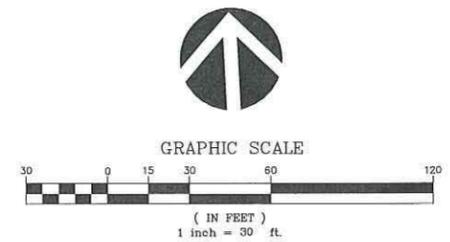




**PLANT MATERIAL LIST:**

SYMBOL	BOTANICAL NAME	COMMON NAME	WUCOLS WATER NEEDS
TREES:	TO BE 15 GAL. SIZE		
FRA RAY	FRAXINUS 'RAYWOODII'	RAYWOOD ASH	MEDIUM
PIS CHI	PISTACIA CHINENSIS	CHINESE PISTACHE	LOW

**CITY OF OAKLEY**  
 Planning Department  
  
 JAN 06 2015  
  
 RECEIVED



REFER TO SHEET L-2 FOR NOTES AND DETAILS

REVISIONS


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 Landscape Architects  
 1620 North Main Street, Suite 4  
 Oakley, CA 94621  
 Ph: 925.931.2383



**CUTINO PROPERTY**  
 OAKLEY, CALIFORNIA  
 KIPER DEVELOPMENT

**STREET TREE AND  
 FENCING PLAN**

DESIGNED: AS	DRAWN: RC
CHECKED:	JOB NO:
DATE 10-23-14	
SCALE NOTED	

SHEET  
**L-1**  
 OF SHEETS

REVISIONS	

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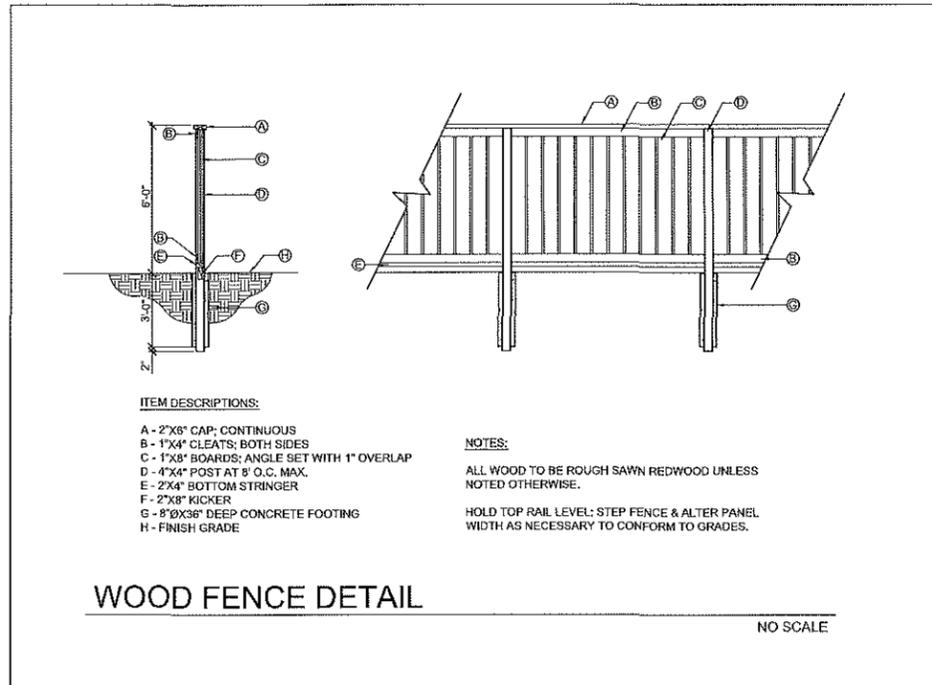


CUTINO PROPERTY  
 OAKLEY, CALIFORNIA  
 KIPER DEVELOPMENT

LANDSCAPE NOTES  
 AND DETAILS

DESIGNER: AS	DRAWN: RC
CHECKED:	JOB NO.:
DATE: 10-29-14	
SCALE: NOTED	

SHEET  
 L-2  
 OF SHEETS



- ITEM DESCRIPTIONS:**
- A - 2"x6" CAP; CONTINUOUS
  - B - 1"x4" CLEATS; BOTH SIDES
  - C - 1"x8" BOARDS; ANGLE SET WITH 1" OVERLAP
  - D - 4"x4" POST AT 8' O.C. MAX.
  - E - 2"x4" BOTTOM STRINGER
  - F - 2"x8" KICKER
  - G - 8"ØX36" DEEP CONCRETE FOOTING
  - H - FINISH GRADE

- NOTES:**
- ALL WOOD TO BE ROUGH SAWN REDWOOD UNLESS NOTED OTHERWISE.
  - HOLD TOP RAIL LEVEL; STEP FENCE & ALTER PANEL WIDTH AS NECESSARY TO CONFORM TO GRADES.

**PLANTING NOTES:**

**GENERAL NOTES:** The Landscape Contractor shall inspect the site and be familiar with all existing site conditions prior to submitting his bid. Contractor shall not willfully proceed with construction as shown when it is obvious that obstructions, landscape area and/or grade differences exist that may not have been known during design, such conditions shall immediately be brought to the attention of the Landscape Architect. The contractor shall assume full responsibility for all necessary revisions due to failure to give such notification. Contractor shall be responsible for making himself familiar with all underground utilities, pipes, structures and obstructions. Contractor shall take sole responsibility for all costs incurred due to damage and/or replacement of these items. Contractor shall be responsible for coordination between trades and subcontractors as required to accomplish landscape operations. The Landscape Contractor shall be responsible for any damage to existing facilities caused by or during the performance of his work. All repairs shall be made at no cost to the Owner. Planting shall be installed in conformance with all applicable local codes and ordinances by experienced workmen and a licensed Landscape Contractor who shall obtain all necessary permits and pay all required fees.

**SOIL PREPARATION:** The Landscape Contractor shall be responsible for finish grading and all planting area drainage. Positive drainage away from the building as per city codes shall be maintained. No low spots which hold standing water will be accepted. The Landscape Contractor shall incorporate backfill soil mixes in planting areas as noted below. Where rototilling is not possible, incorporate soil amendments into top 6 inches with hand tools. After installation of irrigation system, all planting areas are to be fine graded to within 2 inches and slightly mounded away from edges of top of planter, curb, walk, header, etc. and raked smooth with all rocks and debris over 1 inch in diameter removed.

**BACKFILL SOIL MIXES:** The Landscape Contractor shall amend existing soil, by rototilling, 5 cu. yd. 'nitrofed' soil conditioner (with a PH of 6.5-7.5) and 15 lbs. granular fertilizer (12-12-12) per 1,000 sq. ft. into the top 6 inches of soil in all planting areas. Pit Planting Mix: for trees and shrubs mix 1/3 organic amendment, 2/3 amended topsoil as noted above. Acid Backfill Mix: 1/2 pit planting mix, 1/2 sphagnum peat moss (premoistened), "40er Brand Acid Food" (4-6-5) at 1/2 manufacturer's suggested application rate. Planter and Pot Mix: 1/3 topsoil, 1/3 organic amendment, 1/3 sand, 1 lb. fertilizer (6-20-20) per cu. yd. of mix and 2 lbs. iron sulphate per cu. yd. of mix.

**TREE PLANTING:** The trees are to be planted as per detail on plan. Tree backfill shall be the 'Pit Planting Mix' as noted above. All trees shall receive (4) Agriform 21 gram (20-20-5) fertilizer tablets. All Plantdrops shall receive root barrier installation for any trees within 10 ft. of walls or paved surfaces.

**ROOT BARRIERS:** All trees within 5 ft. of paved surface or wall, shall receive root barrier installation of 'Deep Root' Barrier #UB-18-2 linear panels; install panels extending 6 ft. in either direction from tree trunk along adjacent paving edges.

**SHRUB PLANTING:** The shrubs shall be spotted as per plan and the locations approved prior to the digging of the holes. Shrub backfill shall be the 'Pit Planting Mix' as noted in 'Backfill soil mixes', Azaleas, Camellias and fern varieties shall receive the 'Acid backfill mix'. All shrubs shall receive 'Agriform 21 gram (20-20-5) fertilizer tablets at the following rates: For 15 gallon shrubs: 4 tablets, for 5 gallon shrubs: 3 tablets, for 1 gallon shrubs: 1 tablet. Thoroughly water shrubs immediately after planting.

**VINE PLANTING:** The vines shall be planted similar to the shrubs. All vines shall be removed from stakes and fastened to climbing surface by means of vine ties for each major leader.

**MULCHING & PRE-EMERGENT:** All planting areas are to be treated with a pre-emergent. Mulch all planting areas, excluding lawn, having a slope less than 2:1 with a 3 inch minimum depth of 1/2"-3/4" recycled wood bark, dyed with color fast dye, with a PH of no higher than 5.0, and free of noxious weeds and foreign materials.

**SOD LAWN:** Sod shall be as specified on drawings and installed as per suppliers specifications. Remove from all turf areas, stones (1" or larger), mortar, concrete, asphalt, rubbish, debris and any materials harmful to plant life. Remove or spray as required to eradicate noxious weed growth and roots. Thoroughly mix and pulverize the following proportions of materials (lightly compacted measurements) to a minimum depth of 6-8 inches while in a moist, friable condition: 5 inches of topsoil 15 lbs. fertilizer/1,000 sq. ft. Inorganic (16-16-8) 6 cu. yd. Nitrogen stabilized soil amendment per 1,000 sq. ft. soil.

**MAINTENANCE:** The Contractor shall maintain the project for 90 days (or as requested by owner) following the approval to begin the maintenance period. During the entire maintenance period, watering, cultivating, weeding, repair/tightening of stakes and ties, restoration of basins, provision of supplemental water by hand in addition to irrigation system as necessary, spraying for insects and disease shall be performed. At the end of the 90 day maintenance period all areas are to be weed free and all plant material is to be in a healthy, thriving condition. Furnish Owner with typed maintenance manual outlining watering, fertilizing, weeding, and pruning schedules.

**TREE PRUNING NOTE:** THE OWNER SHALL NOT PRUNE ANY TREES WITHIN THE PUBLIC RIGHT-OF-WAY. Such pruning shall only be performed pursuant to an arborist's recommendation and/or as part of the County's regular street tree maintenance program.

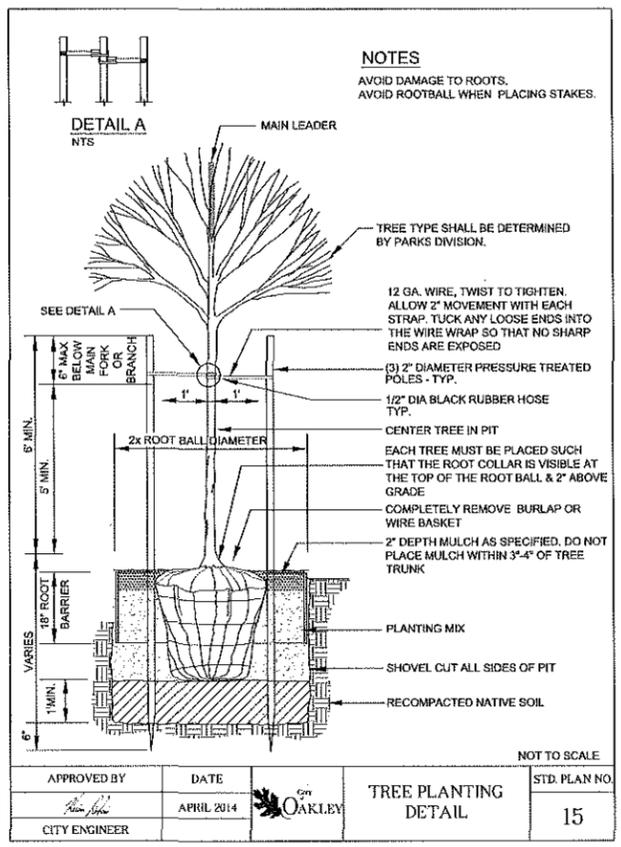
**SUBSTITUTIONS:** Requests for substitutions of plant varieties shall be made to the Landscape Architect within 15 days after signing of contract.

**GUARANTEE:** All construction, trees and shrubs by the Landscape Contractor and/or his subcontractors shall be guaranteed for (1) one year after beginning of maintenance period. The contractor shall replace, at no expense to the Owner, any and all landscape materials that are in an unacceptable condition for time of use, and trees or shrubs that are dead or not in a vigorous, healthy growing condition; within two weeks of notification of such condition. Replacement shall be of the same kind and size as the originally specified item and shall be replaced as originally described on the drawings. The Contractor shall not be held liable for loss of plant materials during the guarantee period due to vandalism, accidental causes or acts of neglect by others than the Contractor, his agents and employees.

**CLEAN UP:** At the end of each work day, at the inspection for substantial completion and before acceptance of project, clean paved areas that are dirtied or stained by construction operations, by sweeping or washing, and remove defacements and stains. Remove construction equipment, excess materials and tools. Haul from Owners property the debris resulting from construction, and dispose of legally. Remove remaining temporary protection at time of acceptance by Owner unless otherwise agreed.

**EXISTING TREES TO REMAIN:** Provide temporary fencing, barricades or guards as necessary to protect existing trees or other plants which are to remain, from above grade damage. Protect root systems from smothering. Do not store construction materials, debris or excavated material within drip line (outer perimeter of tree branches). Restrict vehicular and foot traffic within drip line to prevent excessive compaction of soil over root systems. Arborist's report, when present, takes precedent over these notes.

**JUTE MESH:** Install jute mesh uniformly in contact with soil. The top and bottom edges shall be folded tightly over and shall be anchored with 'U' shaped staples 6" long at 3' o.c. Overlap strips 5" and staple at 3' o.c. For each strip of mesh 3 rows of staples and one row alternately spaced in the middle.



APPROVED BY	DATE	CITY OF OAKLEY	TREE PLANTING DETAIL	STD. PLAN NO.
<i>[Signature]</i>	APRIL 2014			15
CITY ENGINEER				

**TREE SPECIFICATIONS**

- All 15 gal. trees must meet the following minimum specifications:
- HEIGHT: 7 - 8 feet high planted in the ground.
  - CALIPER: 1-1/2 inches, measured 6 inches from the base.
  - BRANCHING NEED: Minimum spread of 2 - 3 feet.
  - CENTRAL LEADER: Single, relatively straight

Any exception to the above must be approved by the City. All planting stock must have the approval of the City. City reserves the right to reject trees that do not meet quality nursery stock.

**PLANTING SEQUENCE**

- Dig the hole twice as large in diameter and 1-1/2 times as deep as the container in which the plant was delivered. Provide a 6 inch minimum clearance all around the rootball.
- The existing soil area is to be removed to a depth of 2 feet and replaced with U.C. Ag. mix or approved equivalent. U.C. Ag. mix shall be combined with existing soil, 1/3 mix, 2/3 native soil.
- Fill hole with the backfill mix to a level 1 inch below the curb.
- Place 3 Agriform Planting Tablets per tree at equidistant spacing. Tablets shall be 21 grams each with a guaranteed test analysis of 20-10-5.
- Remove the rootball carefully from the container by supporting it from below. Sever any circling roots (3/16 inch or greater) with sharp shears or knife. If the rootball is dense or compacted, carefully loosen the roots at the side and bottom of the rootball. Do not pull the rootball apart. The severing of large roots will encourage new roots initiating at the cuts.
- Fill around the rootball with backfill and pack the soil with the shovel handle as you fill. Be careful not to disturb the rootball itself.
- Use the remaining native soil to create a basin appropriate to the site.

APPROVED BY	DATE	CITY OF OAKLEY	TREE PLANTING SPECIFICATIONS	STD. PLAN NO.
<i>[Signature]</i>	APRIL 2014			16
CITY ENGINEER				

**RESOLUTION NO. XX-15****A RESOLUTION OF THE CITY OF OAKLEY CITY COUNCIL MAKING FINDINGS AND APPROVING DESIGN REVIEW FOR "CEDAR GLENN ESTATES DESIGN REVIEW" LOCATED ON THE NORTH SIDE OF CEDAR GLENN DRIVE WITHIN SUBDIVISION 9104 (DR 07-14)****FINDINGS**

**WHEREAS**, on December 16, 2014, John Kiper of Kiper Development, Inc. ("Applicant") filed an application for design review approval of house plans and architecture, and a development plan (neighborhood plotting plan) for 20 entitled lots located within proposed Final Map 9104 (approved Tentative Map 9104) on the property known as "Cutino Property" ("Project"). The 4.74 acre project is located north of Cedar Glenn Drive in Live Oak Ranch, and abuts the west edge of Shady Oak Community Park. The project site is zoned P-1 (Planned Development) District. APN: 034-250-008.

**WHEREAS**, the applicant's plans include house floor plans and architectural elevations, color and material palettes, conceptual landscaping, street tree selections, neighborhood plot plan map ("development plan"), and grading plan ("Plans"); and

**WHEREAS**, on January 6, 2015 the project application was deemed complete per Government Code section 65920 et. seq; and

**WHEREAS**, the project site is designated Single Family High (SH) on the Oakley 2020 General Plan Land Use Map, and zoned P-1 (Planned Development) District; and

**WHEREAS**, the project does not constitute changes to the physical impacts associated with, and falls within the scope of, the adopted "Subdivision 9104 – Cutino Property" Mitigated Negative Declaration (SCH# 2006092007) adopted as part of City Council Resolution 141-06 on November 13, 2006; and

**WHEREAS**, on February 13, 2015, the Notice of Public Hearing for the project was posted at Oakley City Hall located at 3231 Main Street, outside the gym at Delta Vista Middle School located at 4901 Frank Hengel Way, outside the library at Freedom High School located at 1050 Neroly Road, and at the project site. The notice was also mailed out to all owners of property within a 300-foot radius of the subject property's boundaries, to outside agencies, and to parties requesting such notice; and; and

**WHEREAS**, on February 24, 2015, the City Council opened the public hearing and received a report from City Staff, oral and written testimony from the applicant and public, and deliberated on the project. At the conclusion of its deliberations, the City Council took a vote and adopted this resolution to approve the project, as revised by the City Council during its deliberations; and

**WHEREAS**, if any term, provision, or portion of these Findings or the application of these Findings to a particular situation is held by a court of competent jurisdiction to be invalid, void or unenforceable, the remaining provisions of these Findings, or their application to other actions related to the Project, shall continue in full force and effect unless amended or modified by the City; and

**WHEREAS**, these Findings are based on the City's General Plan, the City's Zoning Ordinance, Vesting Tentative Map 9104, City Council Resolution 141-06, and the information submitted to the City Council at its February 24, 2015 meeting, both written and oral, including oral information provided by the applicant, as reflected in the minutes of such meetings, together with the documents contained in the file for the Subdivision (hereafter the "Record").

**NOW, THEREFORE, BE IT RESOLVED THAT**, on the basis of the above Findings and the entire Record, the City Council makes the following additional findings in support of the recommended approvals:

- A. Regarding the application requesting design review approval for project titled, "Cedar Glenn Estates Design Review (DR 09-14)", the City Council finds that:
1. The proposed design review plans are consistent with the applicable General Plan designation and approved Vesting Tentative Map 9104. The proposed use was anticipated in the General Plan and the Vesting Tentative Map 9104 was approved on November 13, 2006; and
  2. The proposed design review plans comply with project's P-1 District zoning regulations, as incorporated in these conditions of approval through reference to City Council Resolution 141-06; and.
  3. The proposed design and materials of the single-family homes, as well as the typical front yard landscaping and street trees are compatible with the applicable adopted City of Oakley Residential Design Guidelines standards, as modified through implementation of this resolution's conditions of approval.
- B. The Project complies with Measure J Growth Management requirements.

**BE IT FURTHER RESOLVED THAT**, on the basis of the above Findings and the Record, the City Council approves the applicant's request for design review approval of "Cedar Glenn Estates Design Review (DR 09-14)", subject to the following conditions:

Applicant shall comply with the requirements of the Oakley Municipal Code and applicable Conditions of Approval from City Council Resolution No. 141-06, unless otherwise stipulated in this resolution. Conditions of Approval are based on the plans received by the Community Development Department and made a part of the City Council's meeting packet for February 24, 2015.

**THE FOLLOWING CONDITIONS OF APPROVAL SHALL BE SATISFIED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT UNLESS OTHERWISE NOTED (BOLD CONDITIONS ADDED OR AMENDED AT PUBLIC HEARING):**

***Planning Department Conditions***

General:

1. This Design Review is approved, as shown on the plans, date stamped by the Planning Department on February 24, 2015, and as conditioned below.
2. This approval shall be effectuated within a period of one (1) year from the effective date of this resolution and if not effectuated shall expire on February 24, 2016. Prior to said expiration date, the applicant may apply for an extension of time pursuant to the provisions of the Municipal Code.
3. All construction drawings submitted for plan check shall be in substantial compliance with the plans presented to and approved by the City Council on February 24, 2015 and conditioned herein.
4. All conditions of approval shall be satisfied by the owner/developer. All costs associated with compliance with the conditions shall be at the owner/developer's expense.
5. Noise generating construction activities, including such things as power generators, shall be limited to the hours of 7:30 a.m. to 5:30 p.m. Monday through Friday, and shall be prohibited on City, State and Federal Holidays. The restrictions on allowed working days and times may be modified on prior written approval by the Community Development Director.
6. Should archaeological materials be uncovered during grading, trenching or other on- site excavation(s), earthwork within 30 yards of these materials shall be stopped until a professional archaeologist who is certified by the Society of Professional Archaeology (SOPA) has had an opportunity to evaluate the significance of the find and suggest appropriate mitigation(s), if deemed necessary.
7. All mitigation measures contained in the Mitigated Negative Declaration adopted for Vesting Tentative Map 9104 and associated entitlements (available at City Hall, 3231 Main Street, Oakley, CA 94561) shall be implemented, as applicable.
8. The applicant shall indemnify, defend, and hold harmless the City of Oakley, the City Approving Authorities, and the officers, agents, and employees of the City from any and all claims, damages and liability (including, but not limited to, damages, attorney fees, expenses of litigation, costs of court).

9. Any model home complex shall have a copy of the City of Oakley's General Plan Land Use Map posted within the sales office or included with the informational material provided to prospective home buyers.

Architecture:

10. Final house designs shall include window muntins with the same design as the respective front elevation on all second story elevation windows for all homes, subject to the review and approval of the Planning Division.
11. Final house designs shall include full gable siding with the same design as the respective front elevation on side and rear gables as follows: Plan 2A (rear), Plan 2B (sides and rear), Plan 3B (sides), and Plan 4B (sides), subject to the review and approval of the Planning Division.
12. Final house designs shall include false shutters on appropriate windows on all second story side and rear elevations, subject to the review and approval of the Planning Division.

Development Regulations:

13. Development of the subdivision shall be subject to the P-1 District adopted in conjunction with City Council Resolution 141-06, adopted on November 13, 2006.

Landscaping:

14. Front yard and right-of-way landscaping shall conform to the Oakley Landscape Guidelines and the City's Water Conservation Landscape Ordinance 82-26 and shall be installed prior to final occupancy. The plan shall be prepared by a licensed landscape architect and shall be certified to be in compliance with the City's Water Conservation Ordinance.
15. California native drought tolerant plants shall be used as much as possible. All trees shall be a mix of 15-gallon and 24-inch box; all shrubs shall be a minimum five-gallon size, except as otherwise noted.
16. All landscaped areas not covered by shrubs or groundcover shall be covered with bark or acceptable alternative as reviewed and approved by the Community Development Director. On slopes greater than 3 to 1, the applicant shall use an alternative to bark per the review and approval of the Community Development Director.
17. The applicant shall maintain all private landscaping until occupancy.

Subdivision Disclosures:

18. Where a lot/parcel is located within 300' of a high voltage electric transmission line, the applicant shall record the following notice:

"The subject property is located near a high voltage electric transmission line. Purchasers should be aware that there is ongoing research on possible potential adverse health effects caused by the exposure to a magnetic field generated by high voltage lines. Although much more research is needed before the question of whether magnetic fields actually cause adverse health effects can be resolved, the basis for such a hypothesis is established. At this time no risk assessment has been made."

When a Final Subdivision Public Report issued by the California Department of Real Estate is required, the applicant shall also request that the Department of Real Estate insert the above note in the report.

19. The following statements shall be recorded at the County Recorder's Office for each parcel to notify future owners of the parcels that they own property in an agricultural area:

"This document shall serve as notification that you have purchased land in an agricultural area where you may regularly find farm equipment using local roads; farm equipment causing dust or blowing sand; crop dusting and spraying occurring regularly; burning associated with agricultural activities; noise associated with farm equipment such as zon guns and aerial crop dusting and certain animals, including equestrian trails as well as flies may exist on surrounding properties. This statement is again, notification that this is part of the agricultural way of life in the open space areas of the City of Oakley and you should be fully aware of this at the time of purchase.

Energy Efficiency:

20. Air conditioning condenser units shall be located to take advantage of natural shade. Condensers should not be placed on the west or south elevation of a home, unless shade is provided. The location of the condenser shall be added to all plot plans for review and approval of the Community Development Director.
21. Design and site units so as to take advantage of natural heating and cooling, sun and wind exposure, and solar energy opportunities.

Waste Management Plan:

22. The applicant shall submit a Waste Management Plan that complies with the City of Oakley Construction and Demolition Debris Recycling Ordinance.

***Building Division Conditions***

23. Plans shall meet the currently adopted Uniform Codes as well as the newest T-24 Energy requirements from the State of California Energy Commission. To confirm the most recent adopted codes please contact the Building Division at (925) 625-7005.
24. Prior to requesting a Certificate of Occupancy from the Building Division, all Conditions of Approval required for occupancy must be completed. When the Public Works Division and the Planning Division place Conditions of Approval on the project, those divisions will sign off on the project prior to the request for a Building division final inspection. Similarly, if the Health Department and/or Fire Department reviewed and approved the original plans, those departments must sign off on the project prior to the request for a final inspection by the Building Division.

***Public Works and Engineering Conditions***

All Public Works and Engineering Conditions of Approval adopted with City Council Resolution No. 141-06 (Subdivision 9104 approval) shall apply, as applicable.

***Advisory Notes***

The following Advisory Notes are provided to the applicant as a courtesy but are not a part of the conditions of approval. Advisory Notes are provided for the purpose of informing the applicant of additional ordinance requirements that must be met in order to proceed with development.

- A. The applicant/owner should be aware of the expiration dates and renewing requirements prior to requesting building or grading permits.
- B. The project will require a grading permit pursuant to the Ordinance Code.
- C. Applicant shall comply with the requirements of Ironhouse Sanitary District.
- D. The applicant shall comply with the requirements of the Diablo Water District.
- E. Comply with the requirements of the East Contra Costa Fire Protection District.
- F. Comply with the requirements of the Building Inspection Division. Building permits are required prior to the construction of most structures.

- G. This project may be subject to the requirements of the Department of Fish and Wildlife. It is the applicant's responsibility to notify the Department of Fish and Wildlife, P.O. Box 47, Yountville, California 94599, of any proposed construction within this development that may affect any fish and wildlife resources, per the Fish and Game Code.
- H. This project may be subject to the requirements of the Army Corps of Engineers. It is the applicant's responsibility to notify the appropriate district of the Corps of Engineers to determine if a permit is required, and if it can be obtained.
- I. The applicant shall obtain an encroachment permit for construction within existing City rights of way.

**PASSED AND ADOPTED** by the City Council of the City of Oakley at a meeting held on the 24<sup>th</sup> of February, 2015 by the following vote:

AYES:

NOES:

ABSENT:

ABSTENTIONS:

APPROVED:

\_\_\_\_\_  
Doug Hardcastle, Mayor

ATTEST:

\_\_\_\_\_  
Libby Vreonis, City Clerk

\_\_\_\_\_  
Date