

7-ELEVEN #1038734

3979 Empire Avenue Oakley, CA 94561



revision dates:
 1038734 - 7-ELEVEN
 NEW STORE
 3979 Empire Ave.
 Oakley, CA

APN: 053-071-050
 OWNER:

TITLE SHEET

CS

CONDITIONAL PERMIT SUBMITTAL



SHEET INDEX

SITE	
CS	- Cover Sheet / Sheet Index / Vicinity Map
A1	- ALTA / Topo Notes
A2	- ALTA/ Topo Survey Plan
A101	- Proposed Site Plan
GP1	- Preliminary Grading & Drainage Plan
SD1	- Stormwater Control Plan
L1	- Landscape Plan
ARCHITECTURAL	
A102	- Proposed Floor Plan
A103	- Proposed Roof Plan
A104	- Elevations (West & North)
A105	- Elevations (East & South)
A106	- Fuel Canopy Elevations
A107	- Rendering
A204	- Color Elevations (West & North)
A205	- Color Elevations (East & South)
A206	- Fuel Canopy Color Elevations

SCOPE OF WORK

NEW GROUND UP NON-PROTOTYPE CONVENIENCE STORE AND FUEL STATION

PROJECT INFORMATION

SITE INFORMATION

PROJECT ADDRESS:
 3979 Empire Avenue
 Oakley, CA 94561

PROPERTY LEGAL DESCRIPTION:
 APN: 053-071-050

PARKING INFORMATION

ADA PARKING -	1 SPOT
STANDARD PARKING -	11 SPOTS
PARALLEL PARKING -	4 SPOTS
FUEL PARKING -	12 SPOTS
TOTAL PARKING -	28 SPOTS
- REQUIRED PARKING -	15 SPOTS

BUILDING INFORMATION:

BUILDING OCCUPANCY:	M / B
CONSTRUCTION TYPE:	V-B
SPRINKLERED	YES

AREA CALCULATIONS

MERCHANDISE	1882 SF
KITCHEN / SALES	273 SF
STORAGE/ BACK ROOM	1031 SF
OFFICE	53 SF
RESTROOM	389 SF
TRASH ENCLOSURE	166 SF
TOTAL =	3,795 SF

PROJECT CONTACTS

OWNER
 7-Eleven, Inc
 3200 Hackberry Road
 Irving, TX 75063

CONTRACTOR / DESIGNER
 Smith Development & Construction Company
 7803 Madison Ave.
 Citrus Heights CA, 95610
 CONTACT: Aleksandr Bool
 916-966-7325

CIVIL ENGINEER
 Mid-Valley Engineering
 1117 L Street
 Modesto, CA 95354
 CONTACT: Derek Matis
 886-526-4212

LANDSCAPE ARCHITECT
 KLA, Inc.
 151 N Norlin St
 Sonora, CA 95370
 CONTACT: Tyler Fay
 209-532-2856

ZONING/ CODE STUDY

ZONING CLASSIFICATION:
 - (C) GENERAL COMMERCIAL DISTRICT

MINIMUM LOT AREA
 - 7,500 SF

MAXIMUM BUILDING HEIGHT:
 - 35 FT

FRONT / STREET-SIDE SETBACKS:
 - 0 FT

INTERIOR-SIDE & REAR SETBACKS:
 - 0 FT WHEN ADJACENT TO COMMERCIAL
 - 20 FT WHEN ADJACENT TO RESIDENTIAL

PARKING CALCULATIONS

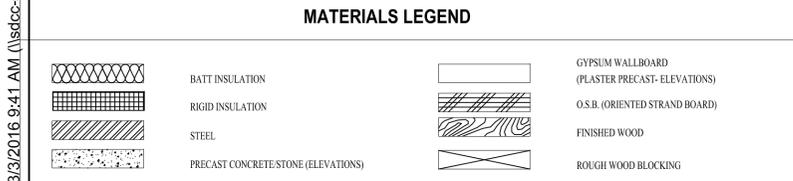
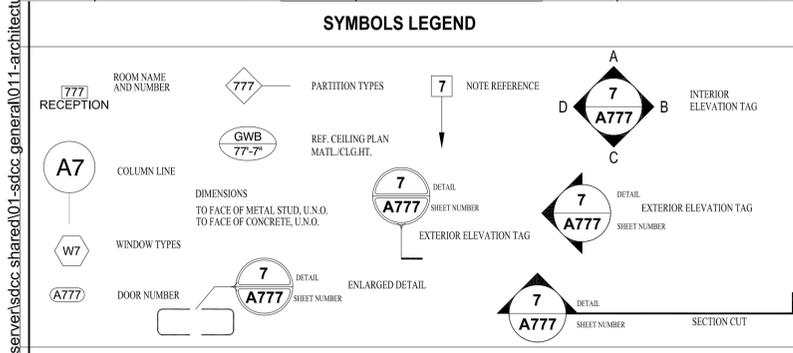
PARKING REQUIREMENTS:
 - MIN 5.0 OFF-STREET PARKING SPACES MUST BE PROVIDED:
 - 1.0 FOR EACH EMPLOYEE ON THE LARGEST SHIFT;
 PLUS
 - 2.0 FOR EACH HOIST, RACK, OR AREA PRIMARILY DESIGNED FOR THE SERVICING OR MINOR REPAIR OF ONE MOTOR VEHICLE, EXCLUDING FUEL PUMP SERVICE AREAS;
 PLUS
 - 1.0 FOR AIR/WATER DISPENSER;
 PLUS
 - 1.0 FOR EACH 400 SQUARE FEET OF GROSS FLOOR AREA.

PARKING CALCULATION:
 - 4 EMPLOYEES ON LARGEST SHIFT
 - 0 SERVICING AREAS
 - 1 AIR/WATER DISPENSER
 - 3,795 SF OF FLOOR AREA / 400 = 9.49 SPOTS
 - TOTAL (ROUNDED) = 15 SPOTS

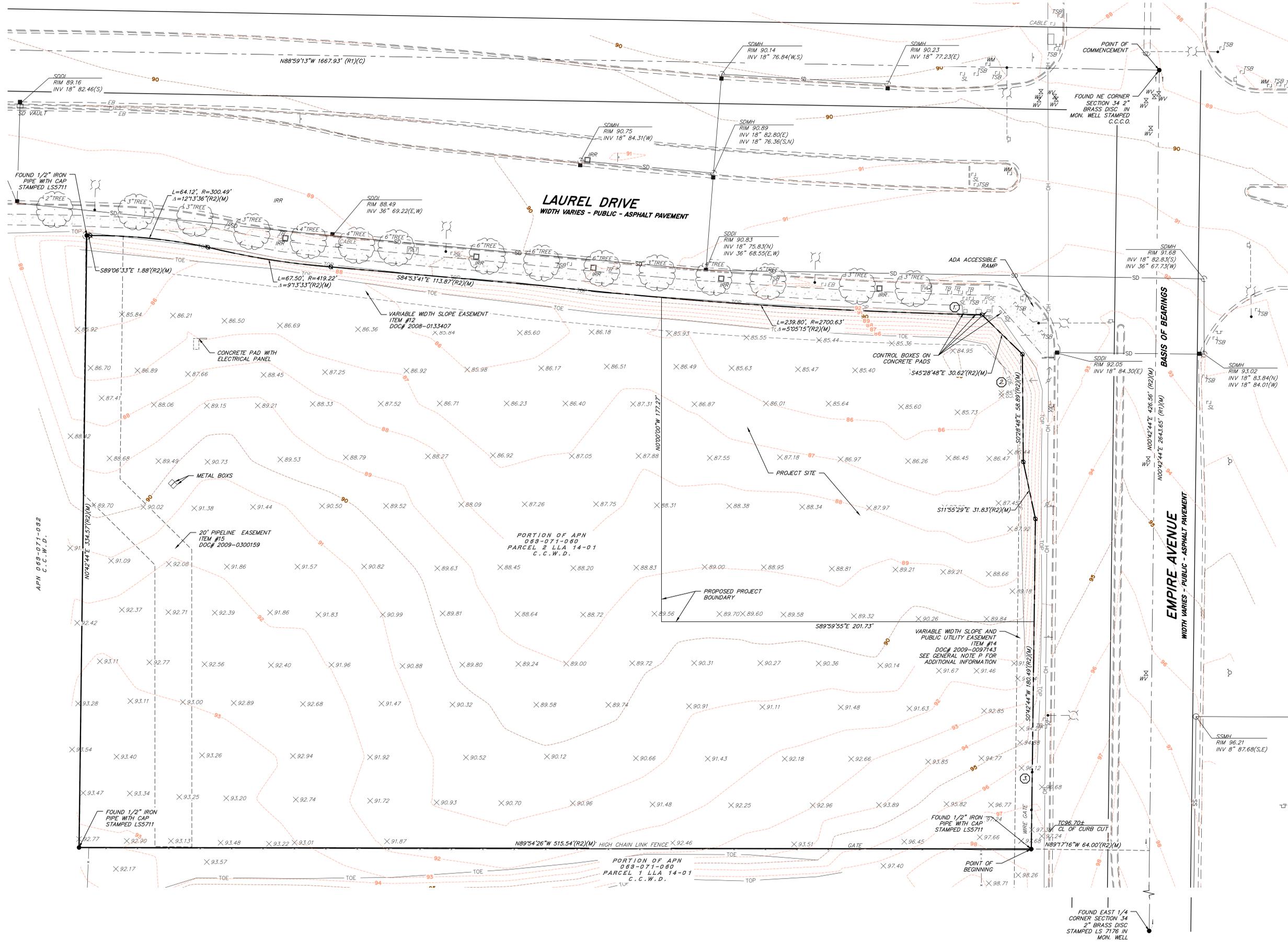
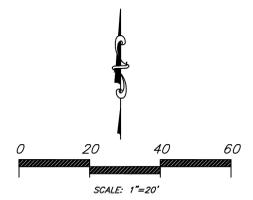
SOURCE: CITY OF OAKLEY MUNICIPAL CODE

ABBREVIATIONS

ABV	ABOVE	P.O.C	FACE OF CONCRETE	Q.T	QUARRY TILE
ACC. PL.	ACCESS FLOOR	P.O.F	FACE OF FINISH	QTY	QUANTITY
ACOUST.	ACOUSTICAL	P.O.S	FACE OF STUD	RAD.	RADIUS
I.A.D.	AREA DRAIN	P.R	FIRE RESTARANT	R.B	RUBBER BASE
ADJ.	ADJACENT	P.T	FOOT	R.C.P.	REFLECTED CEILING PLAN
ADJUST.	ADJUSTABLE	P.TG	FOOTING	R.O.	ROUGH OPENING
A.F.F.	ABOVE FINISHED FLOOR	PURR.	FURRING	R.D	ROOF DRAIN
I.A.GGR.	AGGREGATE	FUT.	FUTURE	REF.	REFER
ALT.	ALTERNATE	F.V	FIELD VERIFY	REBAR	RE-INFORCING BAR
ALUM.AL	ALUMINUM	PWC	FABRIC WALLCOVERING	REQ'D.	REQUIRED
ANGL.	ANGLED	GALV.	GALVANIZED	REV.	REVISED
ANOD.	ANODIZED	G.I	GALVANIZED IRON	RH.	RIGHT HAND
APPROX.	APPROXIMATE	G.R	GRAB BAR	RM	ROOM
I.A.RCH.	ARCHITECTURAL	G.C.R	GENERAL CONTRACTOR	S	SOUTH
AUTO.	AUTOMATIC	GENL.	GENERAL	SAB	SOUND ATTENUATION BLANKETS
BD.	BOARD	GL	GLASS	SAT	SUSPENDED ACOUSTICAL TILE
I.B.O.	BOTTOM OF	GYP.BD./WB	GYP.SUM WALLBOARD	S.C	SOLID CORE
B.G.	BUMPER GUARD	H	HIGH	SCHED.	SCHEDULE
I.BI.BD.	BLACKBOARD	H	HANDICAP	SD	SOAP DISPENSER
BLK	BLOCK	H.R	HOLE CORE	SECT.	SECTION
I.BLKH.D.	BULKHEAD	H.C	HOLLOW CORE	S.F	SQUARE FOOT/FEET
BLKG.	BLOCKING	HD	HEAD	SHLV.	SHELVING
I.BM	BEAM	HDW	HARDWARE	SHT.	SHEET
BRK	BRICK	H.WD.	HARD WOOD	SIM	SIMILAR
BSMT.	BASEMENT	H.M	HOLLOW METAL	S.L.V.	SHORT LEG VERTICAL
I.BTW	BETWEEN	HORIZ	HORIZONTAL	SPCC	SPECIFICATION
I.B.U.	BUILT-UP	H.P.	HIGH POINT	SPKR	SPEAKER
I.CAB	CABINET	HT	HEIGHT	S.S	STAINLESS STEEL
CB/TR	CORKBORD/ TACKBOARD	HVAC	HEAT VENT & AIR COND.	S.T.C.	SOUND TRANSMISSION COEFF.
I.C.B.	CATCH BASIN	HOL	HOLLOW	STD.	STANDARD
CB	CERAMIC	IN	INSIDE DIAMETER	STL	STAIN
I.CER	CERAMIC	I.D.	INSIDE DIAMETER	STN	STAIN
C.E	CONTRACTOR FURNISHED	IN.	INCHES	STOR.STG.	STORAGE
I.C.G.	CORNER GUARD	INCAND.	INCANDESCENT	STRUCT.	STRUCTURAL
C.H	CORNER HIGH	INSUL.	INSULATION	SURF. MTD.	SURFACE MOUNTED
C.I	CONTRACTOR INSTALLED	INT.	INTERIOR	SUSP.	SUSPENDED
CIR	CIRCLE	JAN	JANITOR	SYMM	SYMMETRICAL
I.CIV	CIVIL	J.F	JOINT FILLER	T.O	TOP OF
C.J	CONTROL JOINT	JT.	JOINT	TEL	TELEPHONE
I.C	CENTERLINE	KIT.	KITCHEN	TEMP. GL	TEMPERED GLASS
CLG.	CEILING	LAB.	LABEL	TH. T	THICK
I.CLG.	CEILING	LAV.	LAVATORY	THR.	THRESHOLD
CLO.	CLOSET	L.H	LEFT HAND	TOIL	TOILET
I.CLR	CLEAR	L.B	LIBRARY	T.P.D.	TOILET PAPER DISPENSER
C.M.U.	CONCRETE MASONRY UNIT	L.I.V.	LONG LEG VERTICAL	T.V	TELEVISION
I.C.O.	CLEAR OPENING	LN	LINE	TYP.	TYPICAL
COMM	COMMUNICATION	L.P	LOW POINT	U.C.	UNDERCUT
I.COL	COLUMN	L.P.	LOW POINT	U.L	UNDERWRITERS LABORATORY
CONC.	CONCRETE	L.V.	LONG LEG VERTICAL	UNFIN.	UNFINISHED
CONN.	CONNECTION	LVR	LIGHTER	U.O.	UNLESS NOTED OTHERWISE
CONT.	CONTINUOUS	MAS	MASONRY	VAR	VARIABLE
I.CONST.	CONSTRUCTION	MATL.MAT.	MATERIAL MAT.	V.B	VINYL BASE
CONTR.	CONTRACTOR	MAX	MAXIMUM	V.C.T.	VINYL COMPOSITION TILE
COORD.	COORDINATE	M.C	MINERAL CORE	VERT.	VERTICAL
CPT.	CARPET	M.E.C	MECHANICAL	V.F.	VERIFY IN FIELD
I.CSMT.	CASSETT TILE	MEMB.	MEMBRANE	VH	VINYL
C.T.	CENTER	MET.MTL.	METAL	VE	VINYL REDUCER STRIP
I.CTR	CENTER	MEZ.	MEZZANINE	VWC	VINYL WALL COVERING
CURT.	CURTAIN WALL	MFR	MANUFACTURER	W	WEST
I.C	CURTAIN WALL	MGR	MANAGER	W	WIDE
ID	DEPTH	M.H	MANHOLE	W	WITH
I.DBL	DOUBLE	MIR	MIRROR	W/O	WITHOUT
DEC.	DEGREE	MISC.	MISCELLANEOUS	WC	WATER CLOSET
I.DET	DETAIL	MLDG.	MOULDING	WD	WOOD
I.D.F.	DRINKING FOUNTAIN	M.M	MILK ROOM	WIND	WINDOW
I.DIAG	DIAGONAL	M.O.	MASONRY OPENING	W.P.	WATERPROOF
DIFF.	DIFFUSER	M.RB.	MARBLE	W.R.G.B.	WATER RESISTANT
I.DIM	DIMENSION	M.T	MARBLE THRESHOLD	W	WATER RESISTANT
DISP.	DISPENSER	MULL	MULLION	W.W.M.	WOVEN WIRE MESH
I.DISPO.	DISPOSAL	N	NORTH	YD.	YARD
DN	DOWN	N/A	NOT APPLICABLE		
DR	DOOR	N.C.	NOT IN CONTRACT		
I.DRAP.	DRAPERY	N.C.	NOT IN CONTRACT		
D.S.	DOWNSPOUT	NOM	NOMINAL		
I.DWG.	DRAWING	NRC	NOISE REDUCTION COEFFICIENT		
DWR	DRAWER	NTS	NOT TO SCALE		
E	EAST	O.C	ON CENTER		
E.A	EACH FACE	O.D.	OUTSIDE DIAMETER		
E.I.F.S.	EXTERIOR INSULATING	O.F	OWNER FURNISHED		
EXT	EXTERIOR	O.H	OVERHEAD		
I.E	ELECTRICAL	O.I	OWNER INSTALLED		
ELEC.ELECT.	ELECTRICAL	OPNG	OPENING		
EMERG.	EMERGENCY	OPP.	OPPOSITE		
I.ENC.	ENCLOSURE	PART.	PART		
E.P.	EPOXY PAINT	PL	PARALLEL		
EQ	EQUAL	PL	PLATE		
I.EQUIP.	EQUIPMENT	P.L	PLASTIC LAMINATE		
E.W.C.	ELECTRIC WATER COOLER	PLAS	PLASTER		
EXT.	EXISTING	P.ND.	PLYWOOD		
I.EXT.	EXTERIOR	PNI	PANEL		
EXTRU.	EXTRUDED	POL	POLISHED		
F.A	FIRE ALARM	PR	PAIR		
I.FAB	FABRIC	PREC.	PRECAST		
F.BR	FACE BRICK	PREFAB.	PREFABRICATED		
I.F.D.	FLOOR DRAIN	PROD.	PRODUCTION		
FDN	FOUNDATION	PROP.	PROPERTY		
I.F.E	FIRE EXTINGUISHER	PT	PAIN		
FED	FEDERAL	P.T	PRESSURE TREATED		
I.F.H.C.	FIRE HOSE CABINET	P.TD.	PAINTED		
FIN.	FINISH	P.T.D.	PAINTED		
I.F.O.FIN.	FACE OF FINISH	P.T.D./D.	PAPER TOWEL DISPENSER AND DISPOSAL COMBINATION UNIT		
FMT	FEMUR	PVC	PVC		
I.F.F.R.	FLOOR	PVRS	PAVERS		
FLOOR	FLOOR				
I.F.H.D.	FEMUR DISPOSAL				
F.N.V.	FEMUR DISPOSAL				
F.N.V.	FEMUR DISPOSAL				



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LEGEND

	SEWER MANHOLE
	STORM DRAIN INLET
	WATER VALVE
	WATER METER
	IRRIGATION BOX
	TRAFFIC SIGNAL BOX
	STREET LIGHT BOX
	TELEPHONE BOX
	CABLE BOX
	ELECTRICAL BOX
	TELEPHONE VAULT
	TRAFFIC SIGNAL WITH STREET LIGHT
	TRAFFIC LIGHT
	POWER WIRE
	POLE
	OVERHEAD LINE
	TOE OF SLOPE
	TOP OF SLOPE
	METAL POST WITH WIRE BARRIER
	CHAIN LINK FENCE
	CURB, GUTTER & SIDEWALK
	FOUND MONUMENT AS NOTED
	SEARCHED FOR, NOT FOUND
	OVERALL PARCEL BOUNDARY
	PROPOSED PROJECT BOUNDARY
	TREE

Drawn By: DAM	NO.	DATE	ISSUED FOR	BY
Date: 1/28/16				
Scale: NA				
Job No.: NCT16007				
Checked: JML				
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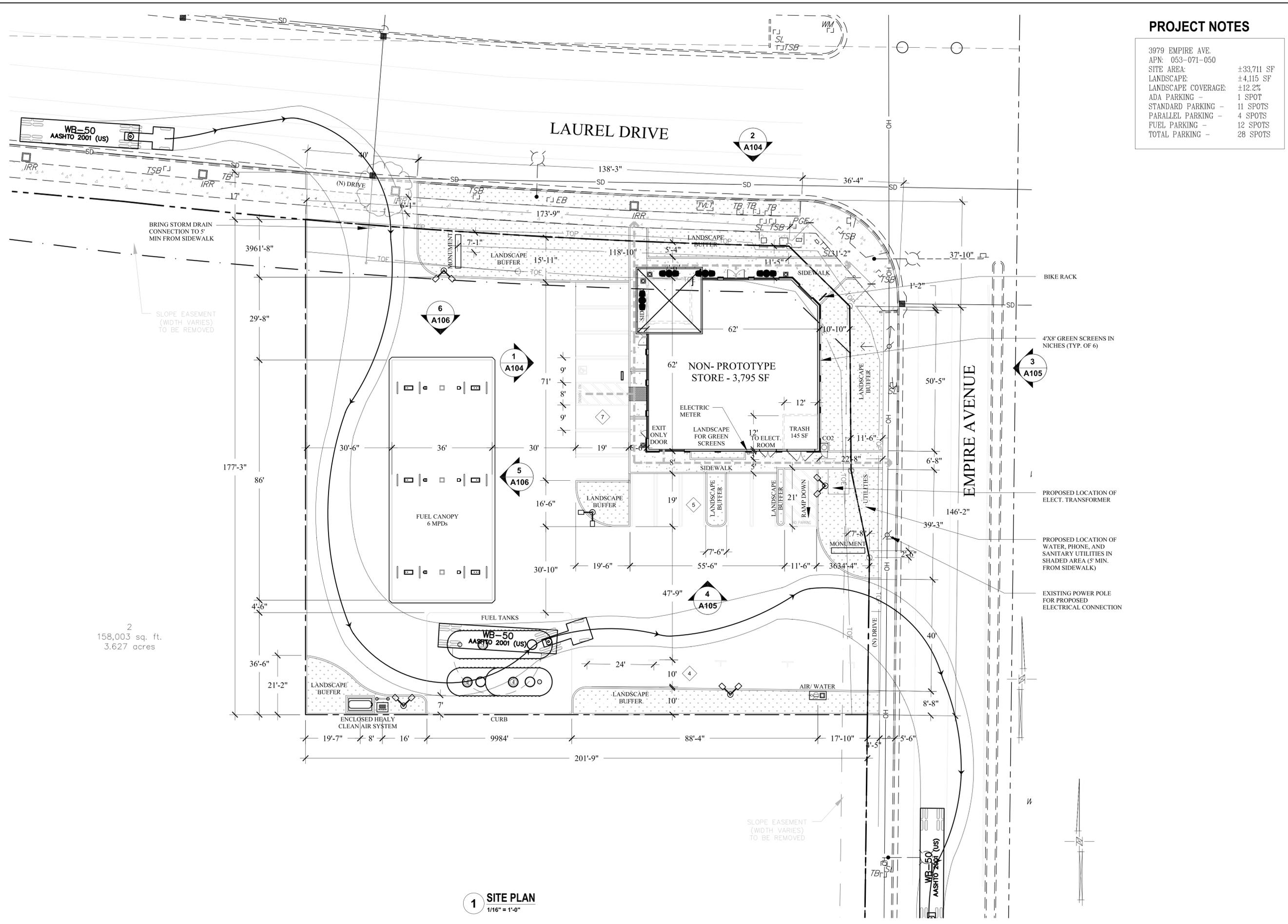
REVISIONS				
NO.	DATE	ISSUED FOR	BY	

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A.L.T.A./A.C.S.M.
LAND TITLE SURVEY
 3979 EMPIRE AVE.
 DOCUMENT NO. 1992-49470 OF BOOK 17278 AT PAGE 556 IN THE
 CITY OF OAKLEY, CONTRA COSTA COUNTY
CITY OF OAKLEY CALIFORNIA

oakley/cad/3979 empire - oakley - site study.dwg

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PROJECT NOTES

3979 EMPIRE AVE.	
APN: 053-071-050	
SITE AREA:	±33,711 SF
LANDSCAPE:	±4,115 SF
LANDSCAPE COVERAGE:	±12.2%
ADA PARKING -	1 SPOT
STANDARD PARKING -	11 SPOTS
PARALLEL PARKING -	4 SPOTS
FUEL PARKING -	12 SPOTS
TOTAL PARKING -	28 SPOTS



revision dates:

**1038734 - 7-ELEVEN
NEW STORE**
3979 Empire Ave.
Oakley, CA

APN: 053-071-050
OWNER:

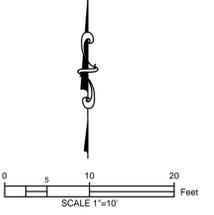
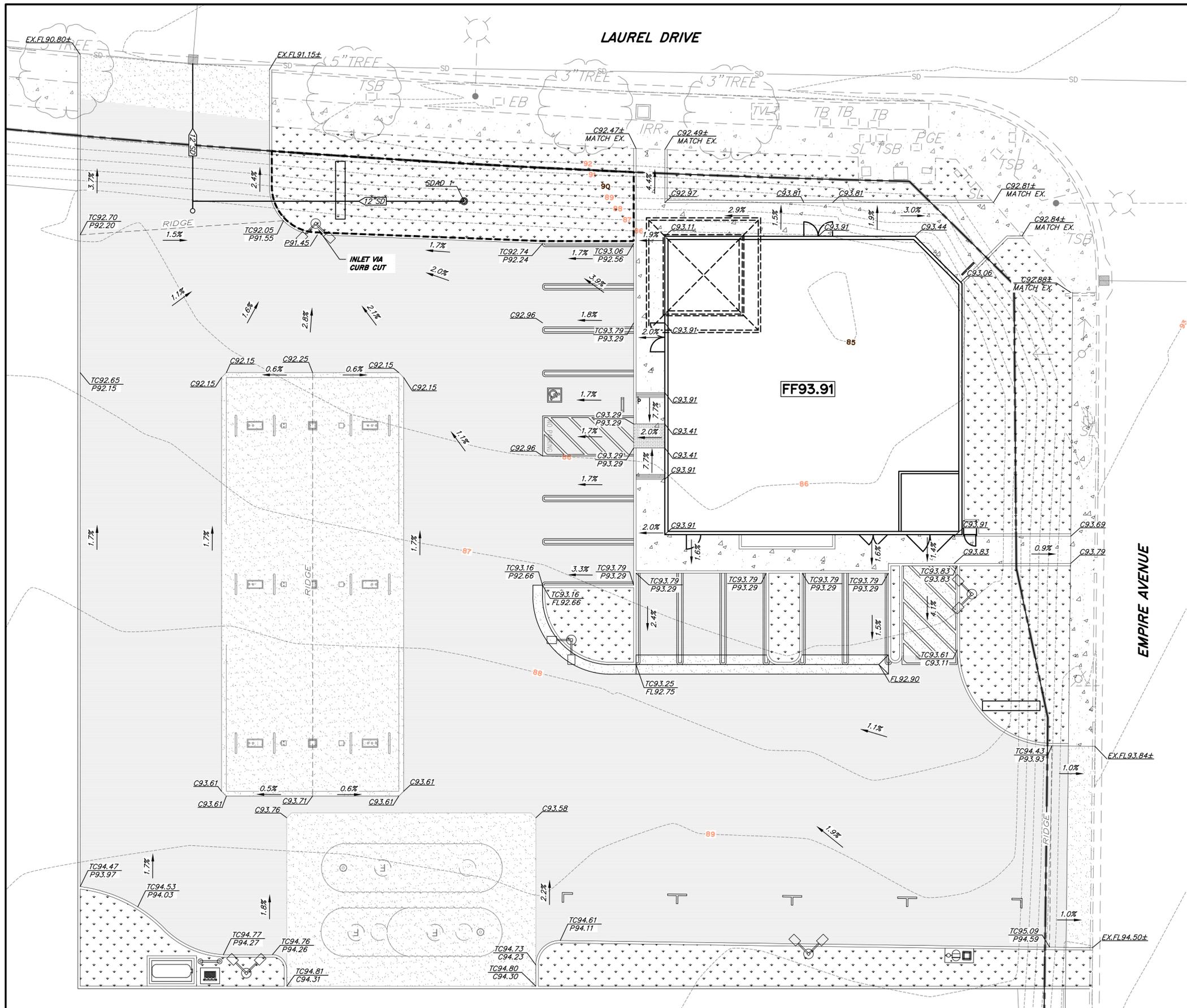
**PROPOSED
SITE PLAN**

Scale: 1/16" = 1'-0" @ 22X34
Scale: 1/32" = 1'-0" @ 11x17

A101

2/19/16 CONDITIONAL PERMIT SUBMITTAL

1 SITE PLAN
1/16" = 1'-0"



GENERAL NOTES

1. THIS PRELIMINARY GRADING AND DRAINAGE PLAN SHALL BE USED FOR THE PURPOSES OF ENTITLEMENT ONLY.
2. THIS PRELIMINARY GRADING PLAN AND DRAINAGE PROPOSES TO FILL THE PROJECT SITE TO THE BACK OF WALK ELEVATION. WHEN AVAILABLE, REFERENCE PROJECT SITE GEOTECHNICAL REPORT FOR FILL SPECIFICATIONS, COMPACTION REQUIREMENTS, MAXIMUM SLOPE REQUIREMENTS, PAVEMENT SECTIONS, AND BUILDING SLAB THICKNESS.
3. EXISTING CONTOUR INTERVALS SHOWN AT 1 FOOT.
4. PROJECT SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE EPA OR APPLICABLE STATE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
5. ALL SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2%.
6. POSITIVE DRAINAGE AWAY FROM BUILDING SHALL BE A MINIMUM OF 1% UNLESS OTHERWISE NOTED.
7. THE PROJECT SITE IS LOCATED WITHIN FLOOD ZONE DESIGNATION "X", AS PER FEMA MAP PANEL NO. 06013C0355F, DATED JUNE 16, 2009, FOR COMMUNITY NUMBER 060766.
8. ELEVATIONS WERE ESTABLISHED FROM NGS BENCHMARK NO. DN4113 (R3), AN EAST BAY MUNICIPAL UTILITIES DISTRICT (EBMUD) 2-1/2" STEEL DISK SET IN A CONCRETE VALVE STRUCTURE LOCATED ABOUT 150 FEET EAST OF THE INTERSECTION OF GRANT STREET AND MEDITERRANEO PLACE AND 70 FEET NORTH OF THE NORTH EDGE OF GRANT AVENUE, AND 8 FEET SOUTH OF THE SOUTHERN EDGE OF AN ASPHALT BIKE TRAIL, WITH A 1988 NAVD ELEVATION OF 107.20 FEET BASED ON THE NGS DATA SHEET, "DISK IS STAMPED "P3029+65.38", "F3029+97.95", "ELEV. 104.164"
9. PER AGREEMENT WITH DEVELOPER AND ADJACENT OWNER, ALL FUTURE DEVELOPMENT SHALL MATCH THE PROPOSED FINISHED GRADE OF THIS PROJECT ALONG THE WESTERN AND SOUTHERN BOUNDARIES OF THIS SITE.
10. THE PROJECT ANTICIPATES APPROXIMATELY 7,500 CY OF FILL TO MEET THE FINISHED GROUND SHOWN AS PART OF THIS PLAN.

ABBREVIATIONS

C	CONCRETE
EX.	EXISTING
FF	FINISHED FLOOR
FL	FLOWLINE
TC	TOP OF CURB
P	PAVEMENT
±	PLUS/MINUS

LEGEND

EXISTING	PROPOSED



811
Know what's below.
Call before you dig.

REVISIONS				
NO.	DATE	ISSUED FOR	BY	

Drawn By: DAM
Issue Date: 2/4/16
Job No.: NC16007
Checked: CAO
Design By: DAM
01-NC16007-P1GP1.dwg

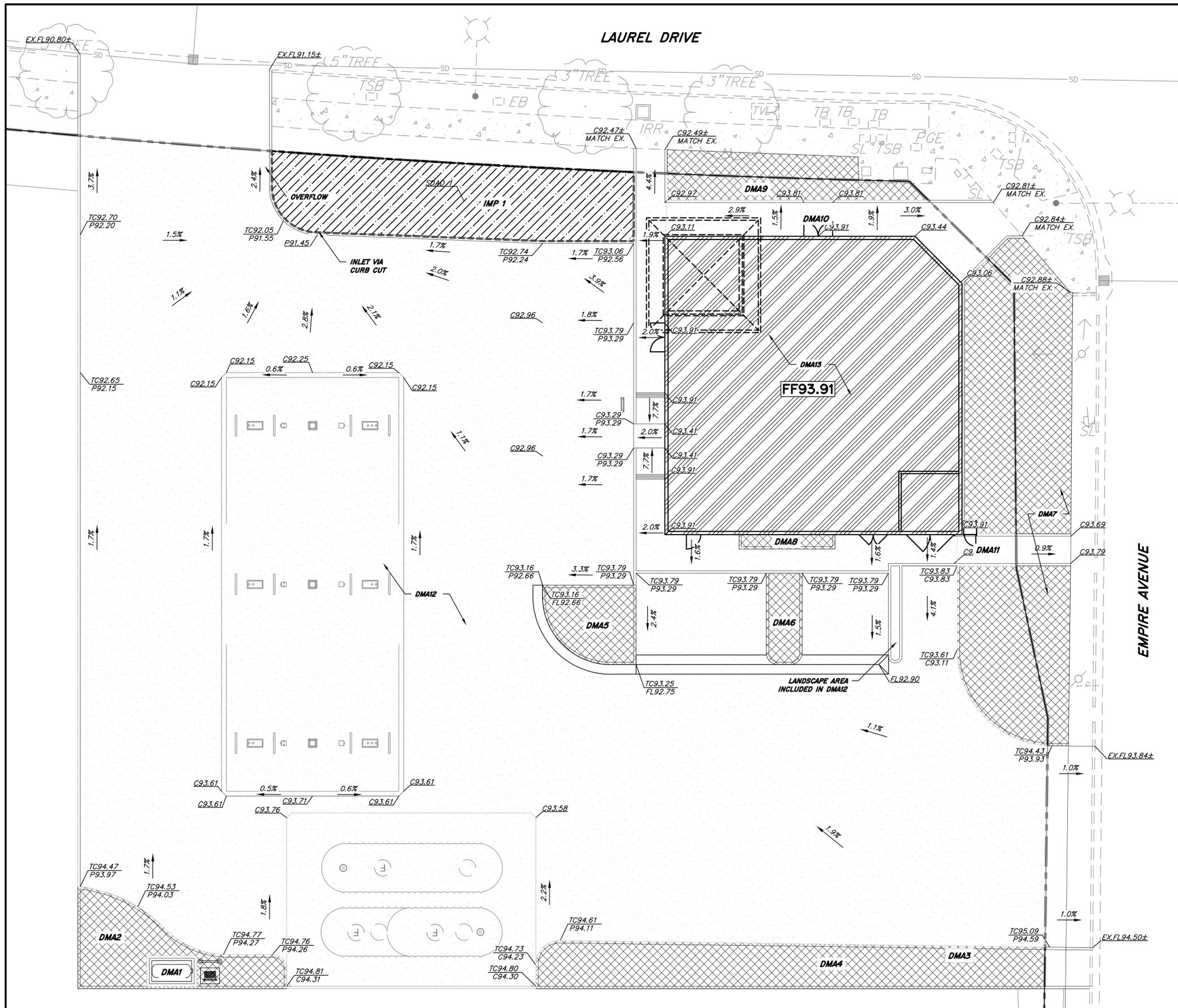
02/04/2016

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**3979 EMPIRE AVENUE
7-11 OAKLEY**
PRELIMINARY GRADING & DRAINAGE
OAKLEY CALIFORNIA

DWG. GP1
SHEET 1 OF 1

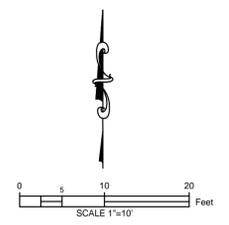
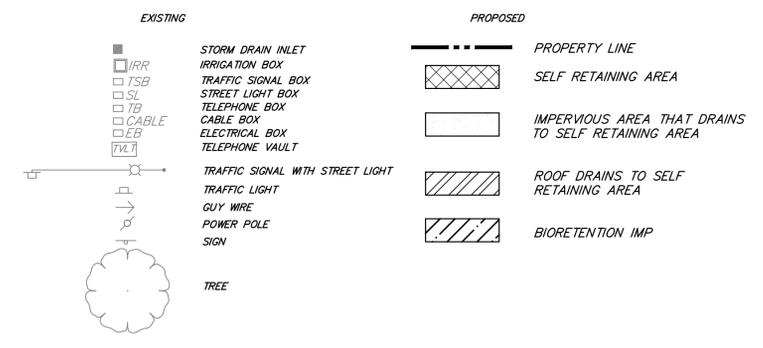
Plot: February 4, 2016 at 10:31 AM X:\CIVIL\3D\Civil 3D\Projects\NC16007 - Oakley - ALTA\PLAN\VISION\SITE\01 HCT16007.P1.GP1.dwg



GENERAL NOTES

1. THIS PRELIMINARY STORMWATER CONTROL PLAN SHALL BE USED FOR THE PURPOSES OF ENTITLEMENT ONLY.
2. THIS PRELIMINARY STORMWATER CONTROL PLAN IS BASED UPON THE SITE FILL BEING FROM HYDROLOGIC SOIL GROUP "A" SIMILAR TO THE SURROUNDING AREA PER THE WEB SOIL SURVEY PRODUCED BY THE USDA. THIS PLAN WILL NEED TO BE UPDATED WHEN A SOILS REPORT IS PREPARED FOR THE SITE AND MORE IS KNOWN ABOUT THE SITE FILL THAT WILL BE USED TO BRING THE SITE TO FINISHED GRADE.
3. ALL LANDSCAPED AREAS SHOWN ARE ASSUMED TO BE SELF TREATING AREAS PER THE STORM WATER C.3 GUIDEBOOK PROVIDED ON THE CONTRA COSTA CLEAN WATER WEBSITE.
4. THIS EXHIBIT IS TO BE USED IN CONJUNCTION WITH THE STORMWATER CONTROL REPORT PREPARED BY MVE INC.
5. DMA12 INCLUDES THE ROOF CANOPY AREA OF THE FUELING STATIONS BUT EXCLUDES THE CONCRETE UNDERNEATH BECAUSE THE CANOPY CAPTURES ALL STORMWATER PRIOR TO IT INTERACTING WITH THE CONCRETE BELOW.
6. PROJECT SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE EPA OR APPLICABLE STATE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
7. PER AGREEMENT WITH DEVELOPER AND ADJACENT OWNER, ALL FUTURE DEVELOPMENT SHALL MATCH THE PROPOSED FINISHED GRADE OF THIS PROJECT ALONG THE WESTERN AND SOUTHERN BOUNDARIES OF THIS SITE.

LEGEND



811
Know what's below.
Call before you dig.

Drawn By: DAM	REVISIONS			
Issue Date: 2/4/16	NO.	DATE	ISSUED FOR	BY
Job No.: NC16007				
Checked: CAO				
Design By: DAM				
02-NC16007-P1SD1.dwg				

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**3979 EMPIRE AVENUE
7-11 OAKLEY
STORMWATER CONTROL PLAN
OAKLEY CALIFORNIA**

DWG. SD1
SHEET 1
OF 1

Plot: February 4, 2016 at 10:30 AM X:\CIVIL\3D\Civil 3D Projects\NC16007 - Oakley ALTA\PLAN\SD1\02-NC16007-P1SD1.dwg

Landscape Concept

The landscape design concept for the 7-Eleven is to provide an enjoyable and aesthetic space for the customers that fits within the landscape framework of the existing commercial center and the surrounding area. Plant material has been selected that performs well in the special conditions of the California Coastal Inland area (Sunset Zone #17).

In keeping with the need for water conservation there will be no new turf areas on this site. All plant selections (with the exception of the bio-filtration swales) are hardy low water use trees, shrubs and groundcover. The landscape (and associated irrigation) has been designed to be compliant with the City of Oakley Water Efficient Landscape Ordinance.

Special considerations have been provided in selection of plant material that respect the needs of the gas station and the customers. Clear and secure view corridors have been provided to ensure safety of the customers entering the building as well as moving around the site.

Irrigation

The entire site will be irrigated using a fully automatic system and designed to meet the City's Water Efficient Landscaping Ordinance. The irrigation system will largely be low-volume design with no use of pop-up sprays. The system will include in-line valves, quick couplers, and gate valves. New irrigation controller will be Hunter, Irritrol, or equal 'Smart' controller with weather station. A wireless weather sensor will communicate with the controller for rain/freeze shut-off abilities. A complete irrigation design with these parameters will be provided with the improvement plans.

Parking Lot Shade

The City of Oakley requires 1 tree for 6 parking stalls and a 50% shading coverage of the parking area. There are also numerous parking lot trees throughout the project to more than sufficiently meet the parking lot shade requirements. Calculations to show that the 50% shade coverage is met or exceeded will be provided with the building permit set.

Tree Root Barriers

All trees denoted with the root barrier symbol are to have a linear DeepRoot Model #UB 18-2 root barriers installed during tree installation along the inside edge of the adjacent curb or sidewalk. The following minimum number of panels are to be installed with each tree on each side of the tree that has sidewalk or curb as denoted on the plans:

15 gallon trees	5 panels
24" box trees	6 panels

Tree sizes not listed above are to be installed with the quantity of panels as specified by the manufacturer.

Landscape Areas

On-Site Turf Area:	0 sf
On-Site Shrub Area:	4,188 sf
Total On-Site:	4,188 sf

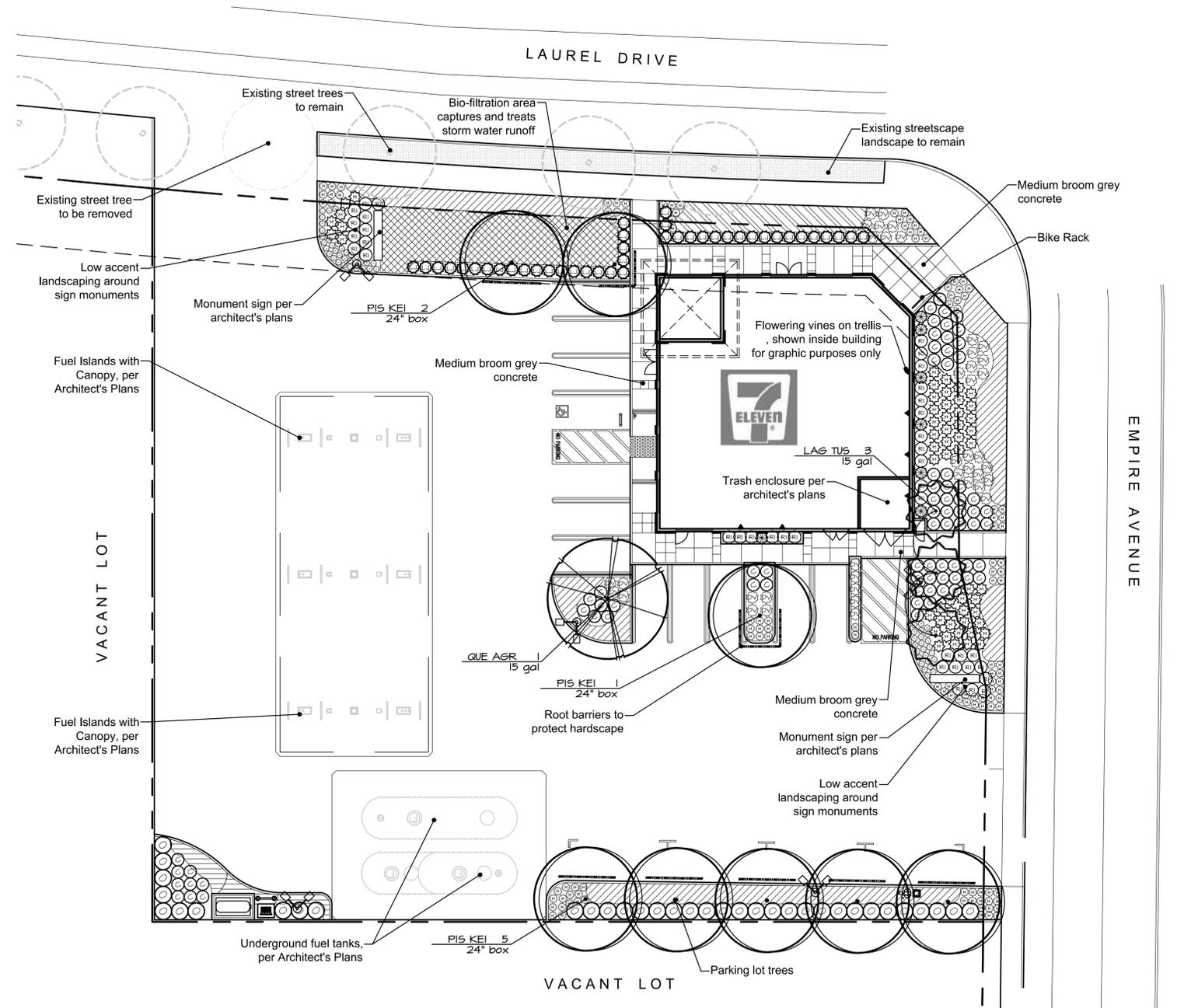
Size of Parcel:	33,712 sf
Percent of Site in Landscape:	12.4%

Off-Site Shrub Area:	1,704 sf
Existing to Remain:	724 sf

PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	CONT	QTY	Water Use	
LAG TUS	Lagerstroemia x 'Tuscarora'	Crape Myrtle Coral Pink	15 gal	4	Low	
PIS KEI	Pistacia chinensis 'Keith Davey'	Keith Davey Chinese Pistache	24" box	8	Low	
QUE AGR	Quercus agrifolia	Coast Live Oak	15 gal	1	Low	
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	QTY	Water Use	
CAL LJ	Callistemon viminalis 'Little John'	Dwarf Weeping Bottlebrush	5 gal	73	Low	
DIE BIC	Diets bicolor	Fortnight Lily	1 gal	40	Low	
HEM MON	Hemerocallis x 'Monold'	Starburst Yellow Evergreen Daylily	1 gal	118	Medium	
JUN MED	Juniperus scopulorum 'Medora'	Medora Juniper	5 gal	7	Low	
LIG TEX	Ligustrum japonicum 'Texanum'	Wax Leaf Privet	5 gal	41	Low	
MUH CAP	Muhlenbergia capillaris	Pink Muhly	1 gal	56	Low	
OLE LIT	Olea europaea 'Little Ollie'	Little Ollie Olive	5 gal	35	Low	
RHA BAL	Rhaphiolepis indica 'Ballerina'	Ballerina Indian Hawthorn	5 gal	38	Low	
ZAU ROU	Zauschneria californica 'Route 66'	California Fuchsia	1 gal	56	Low	
VINE/ESPALIER	BOTANICAL NAME	COMMON NAME	SIZE	QTY	Water Use	
CAM RAD	Campsis radicans	Trumpet Creeper	1 gal	6	Low	
GROUND COVERS	BOTANICAL NAME	COMMON NAME	CONT	SPACING	QTY	Water Use
JUN PAT	Juncus patens	California Gray Rush	1 gal	24" o.c.	722 sf	Low
JUN CON	Juniperus conferta	Shore Juniper	1 gal	36" o.c.	136 sf	Low
JUN GM	Juniperus procumbens 'Green Mound'	Green Mound Juniper	1 gal	48" o.c.	1,218 sf	Low
ROS PRO	Rosmarinus officinalis 'Prostratus'	Dwarf Rosemary	1 gal	48" o.c.	299 sf	Low
	Existing landscape to remain					

This plan represents the design style and theme of the landscape design and planting. These plans are preliminary and may change through the design process. The final planting plan may not contain all of the above plants in the sizes as shown. Additionally some new plant species may be used in the final design. This plan does however indicate the quantity of trees and the overall level of landscape development that will be carried through with the final design.



EMPIRE AVENUE

VACANT LOT

VACANT LOT



NORTH
Scale: 1/16" = 1'-0"



Project Location



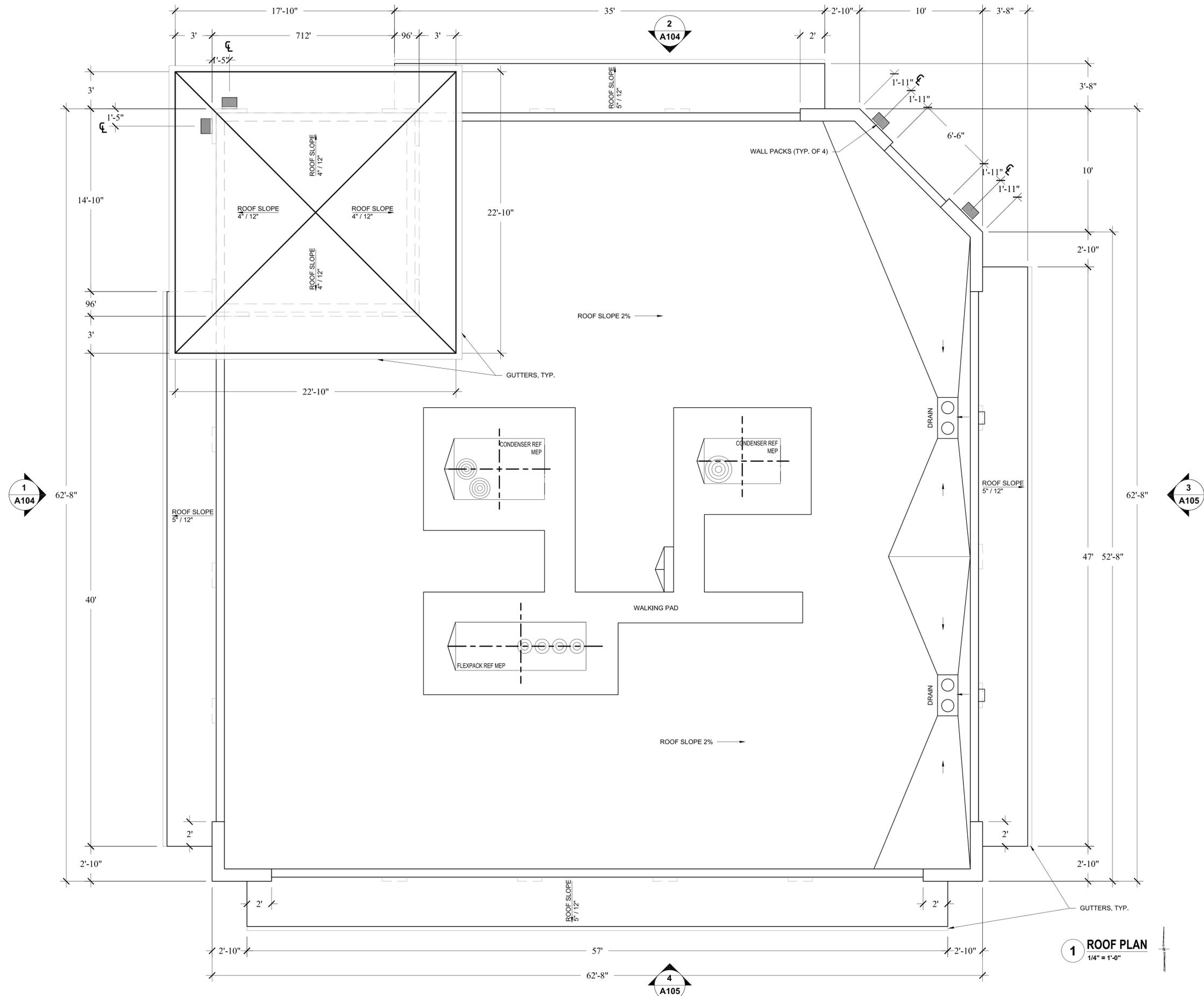
Vicinity Map Not to scale

7 - E L E V E N - N E W S T O R E

3979 EMPIRE AVENUE, OAKLEY, CA

JANUARY 3, 2016





1 ROOF PLAN
1/4" = 1'-0"



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revision dates:

1038734 - 7-ELEVEN
NEW STORE
3979 Empire Ave.
Oakley, CA

APN: 053-071-050
OWNER:

PROPOSED
ROOF PLAN

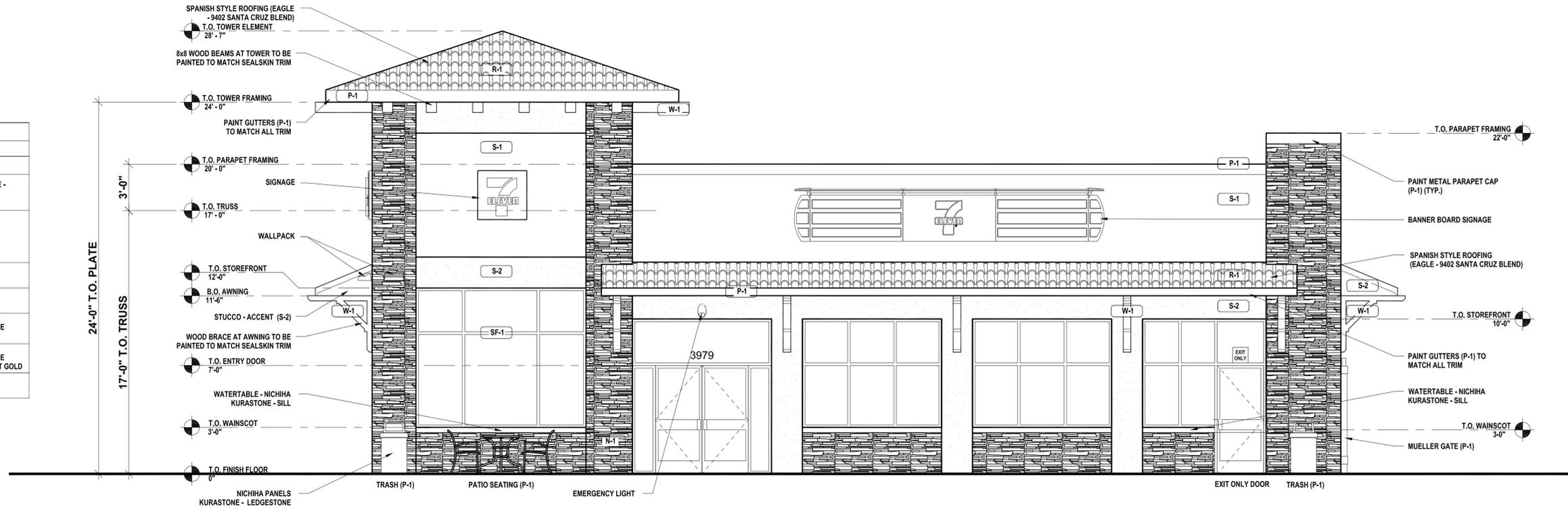
Scale: 1/4" = 1'-0" @ 22X34
Scale: 1/8" = 1'-0" @ 11x17

A103

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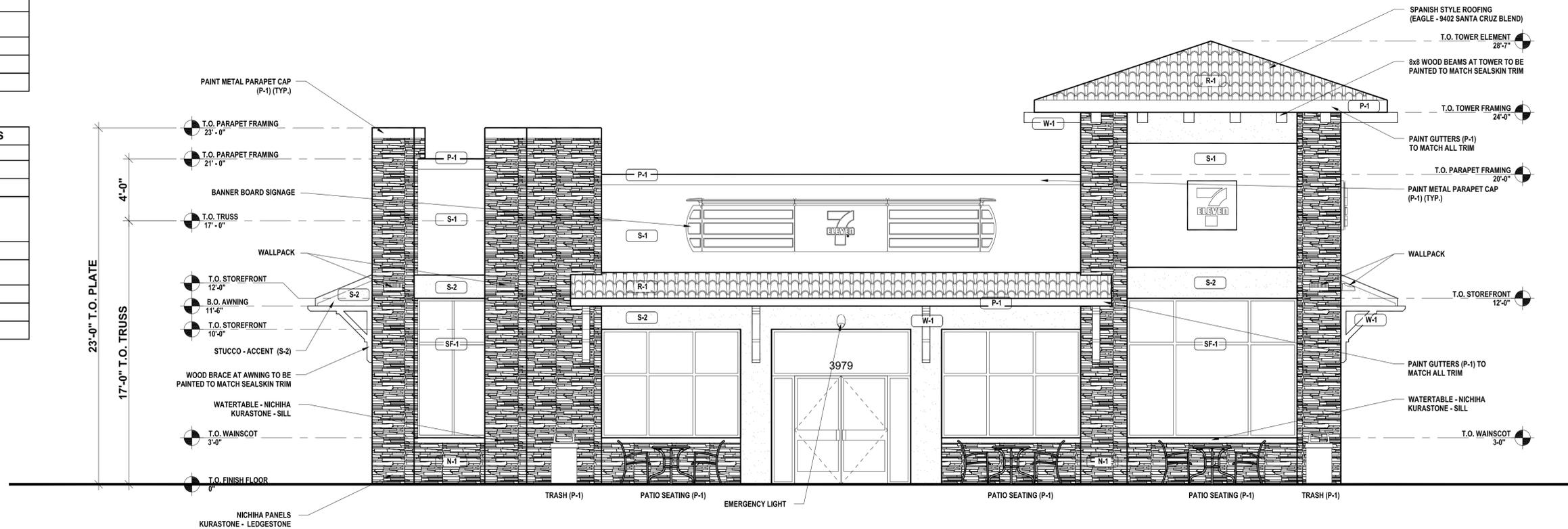
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MATERIALS SCHEDULE		
NO.	MATERIAL	MANUF.-COLOR
MR-1	MEMBRANE ROOFING	DUROLAST - WHITE
N-1	FIBER CEMENT PANEL	NICHIHA - KURASTONE - LEDGESTONE
P-1	EXTERIOR HM DOORS, FRAMES, TRASH ENCLOSURE GATE, GRAVEL GUARDS, AND LIGHT POLES	SHERWIN WILLIAMS - SEAL SKIN SW 7675
R-1	SPANISH ROOF TILE	SANTA CRUZ BLEND (EAGLE - 9402)
SF-1	ALUMINUM STOREFRONT GLAZING	KAWNEER - 451T VG
S-1	STUCCO - BASE	OMEGA OR EQUAL TEXTURE = LIGHT LACE COLOR = 14 CREAM
S-2	STUCCO - TRIM	OMEGA OR EQUAL TEXTURE = LIGHT LACE COLOR = 221 HARVEST GOLD
W-1	PRE-TREATED WOOD BEAMS	PAINT TO MATCH STOREFRONT



WEST ELEVATION CALCULATIONS		
NO.	MATERIAL	AREA - (IN S.F.)
TOTAL		±1,405 S.F.
N-1	FIBER CEMENT PANEL	±320 S.F.
P-1	EXTERIOR HM DOORS, FRAMES, TRASH ENCLOSURE GATE, GRAVEL GUARDS, AND LIGHT POLES	±80 S.F.
R-1	SPANISH ROOF TILE	±120 S.F.
SF-1	ALUMINUM STOREFRONT GLAZING	±370 S.F.
S-1	STUCCO - BASE	±320 S.F.
S-2	STUCCO - TRIM	±170 S.F.
W-1	PRE-TREATED WOOD BEAMS	±25 S.F.

NORTH ELEVATION CALCULATIONS		
NO.	MATERIAL	AREA - (IN S.F.)
TOTAL		±1,425 S.F.
N-1	FIBER CEMENT PANEL	±440 S.F.
P-1	EXTERIOR HM DOORS, FRAMES, TRASH ENCLOSURE GATE, GRAVEL GUARDS, AND LIGHT POLES	±75 S.F.
R-1	SPANISH ROOF TILE	±100 S.F.
SF-1	ALUMINUM STOREFRONT GLAZING	±355 S.F.
S-1	STUCCO - BASE	±295 S.F.
S-2	STUCCO - TRIM	±140 S.F.
W-1	PRE-TREATED WOOD BEAMS	±20 S.F.



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**1038734 - 7-ELEVEN
NEW STORE**
3979 Empire Ave.
Oakley, CA

APN: 053-071-050
OWNER:

**PROPOSED
ELEVATIONS
WEST -
NORTH**

Scale: 1/4" = 1'-0" @ 92X34
Scale: 1/8" = 1'-0" @ 11x17

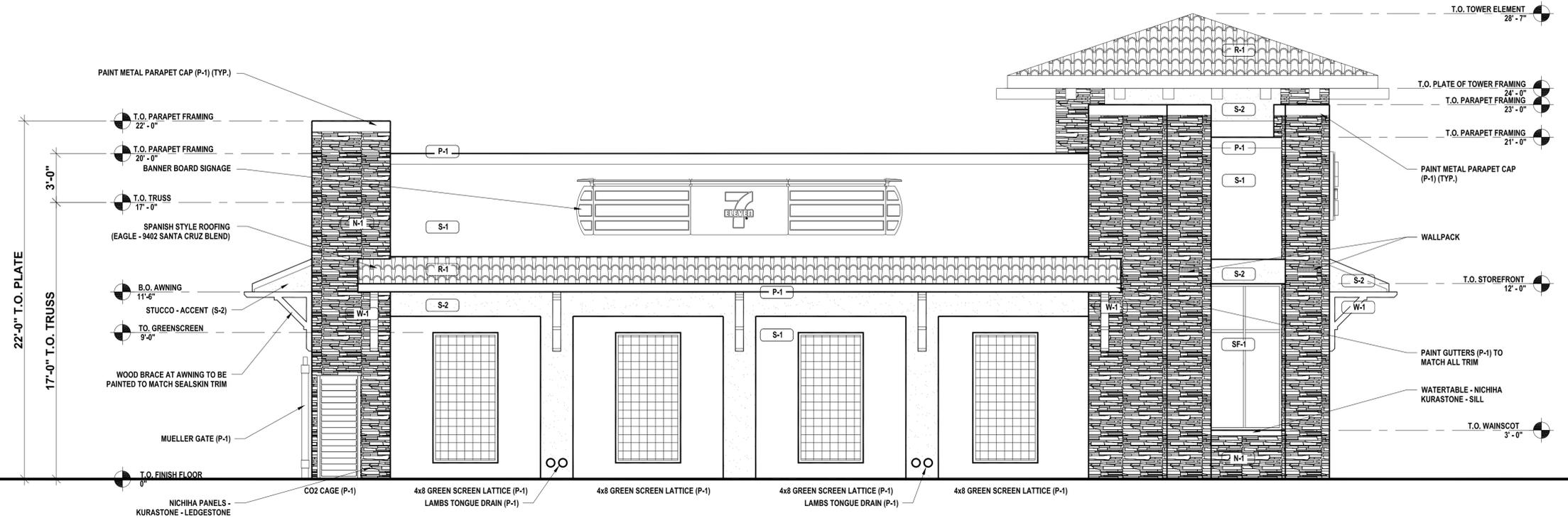
A104

2/19/16 CONDITIONAL PERMIT SUBMITTAL

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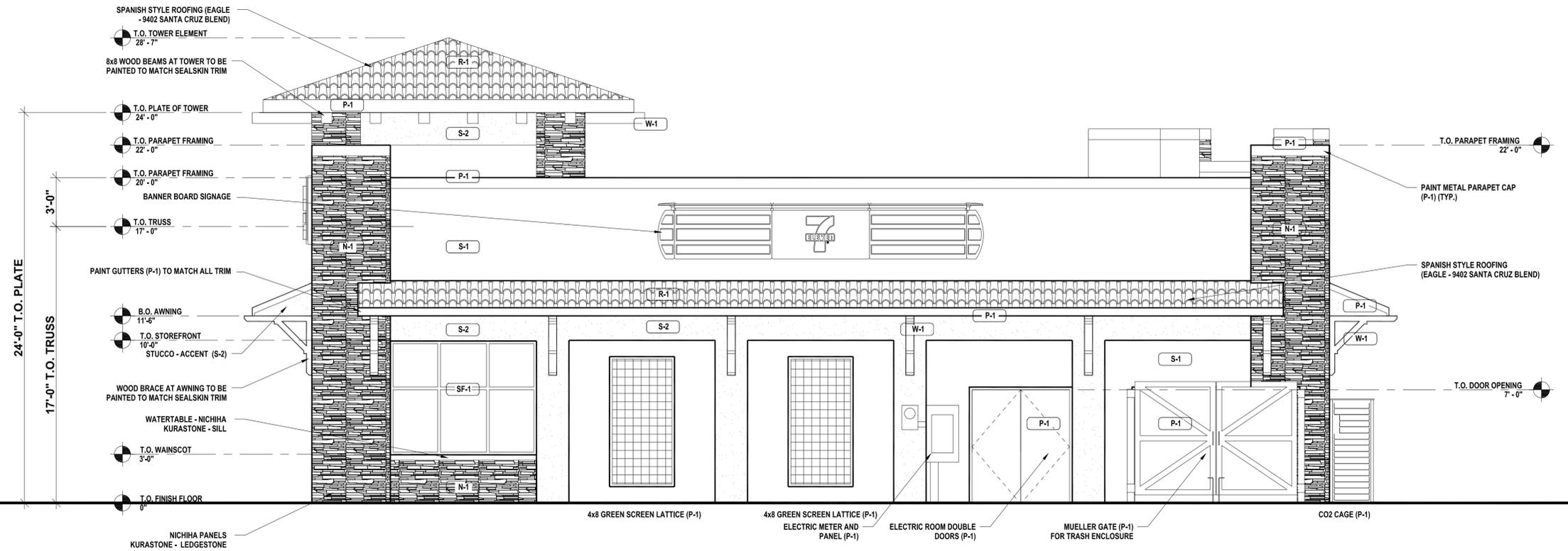
MATERIALS SCHEDULE		
NO.	MATERIAL	MANUF.-COLOR
MR-1	MEMBRANE ROOFING	DUROLAST - WHITE
N-1	FIBER CEMENT PANEL	NICHIHA - KURASTONE - LEDGESTONE
P-1	EXTERIOR HM DOORS, FRAMES, TRASH ENCLOSURE GATE, GRAVEL GUARDS, AND LIGHT POLES	SHERWIN WILLIAMS - SEAL SKIN SW 7675
R-1	SPANISH ROOF TILE	SANTA CRUZ BLEND (EAGLE - 9402)
SF-1	ALUMINUM STOREFRONT GLAZING	KAWNEER - 451T VG
S-1	STUCCO - BASE	OMEGA OR EQUAL TEXTURE = LIGHT LACE COLOR = 14 CREAM
S-2	STUCCO - TRIM	OMEGA OR EQUAL TEXTURE = LIGHT LACE COLOR = 221 HARVEST GOLD
W-1	PRE-TREATED WOOD BEAMS	PAINT TO MATCH STOREFRONT



3 ELEVATION - RIGHT (EAST - ALONG EMPIRE AVE.)
1/4" = 1'-0"

EAST ELEVATION CALCULATIONS		
NO.	MATERIAL	AREA - (IN S.F.)
	TOTAL	±1,425 S.F.
N-1	FIBER CEMENT PANEL	±330 S.F.
P-1	EXTERIOR HM DOORS, FRAMES, TRASH ENCLOSURE GATE, GRAVEL GUARDS, AND LIGHT POLES	±120 S.F.
R-1	SPANISH ROOF TILE	±120 S.F.
SF-1	ALUMINUM STOREFRONT GLAZING	±40 S.F.
S-1	STUCCO - BASE	±645 S.F.
S-2	STUCCO - TRIM	±145 S.F.
W-1	PRE-TREATED WOOD BEAMS	±25 S.F.

SOUTH ELEVATION CALCULATIONS		
NO.	MATERIAL	AREA - (IN S.F.)
	TOTAL	±1,415 S.F.
N-1	FIBER CEMENT PANEL	±205 S.F.
P-1	EXTERIOR HM DOORS, FRAMES, TRASH ENCLOSURE GATE, GRAVEL GUARDS, AND LIGHT POLES	±230 S.F.
R-1	SPANISH ROOF TILE	±140 S.F.
SF-1	ALUMINUM STOREFRONT GLAZING	±70 S.F.
S-1	STUCCO - BASE	±570 S.F.
S-2	STUCCO - TRIM	±175 S.F.
W-1	PRE-TREATED WOOD BEAMS	±25 S.F.



4 ELEVATION - REAR (SOUTH - LOOKING INTO PARKING LOT)
1/4" = 1'-0"



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**1038734 - 7-ELEVEN
NEW STORE**
3979 Empire Ave.
Oakley, CA

APN: 053-071-050
OWNER:

**PROPOSED
ELEVATIONS
EAST -
SOUTH**
Scale: 1/4" = 1'-0" @ 92X34
Scale: 1/8" = 1'-0" @ 11x17

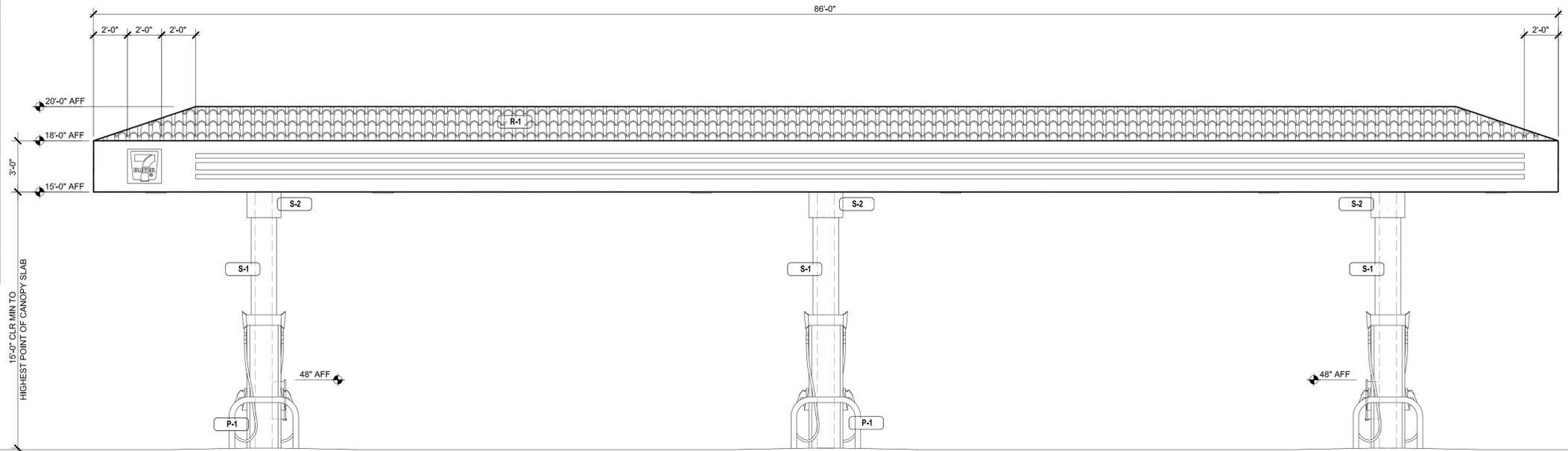
A105

2/19/16 CONDITIONAL PERMIT SUBMITTAL

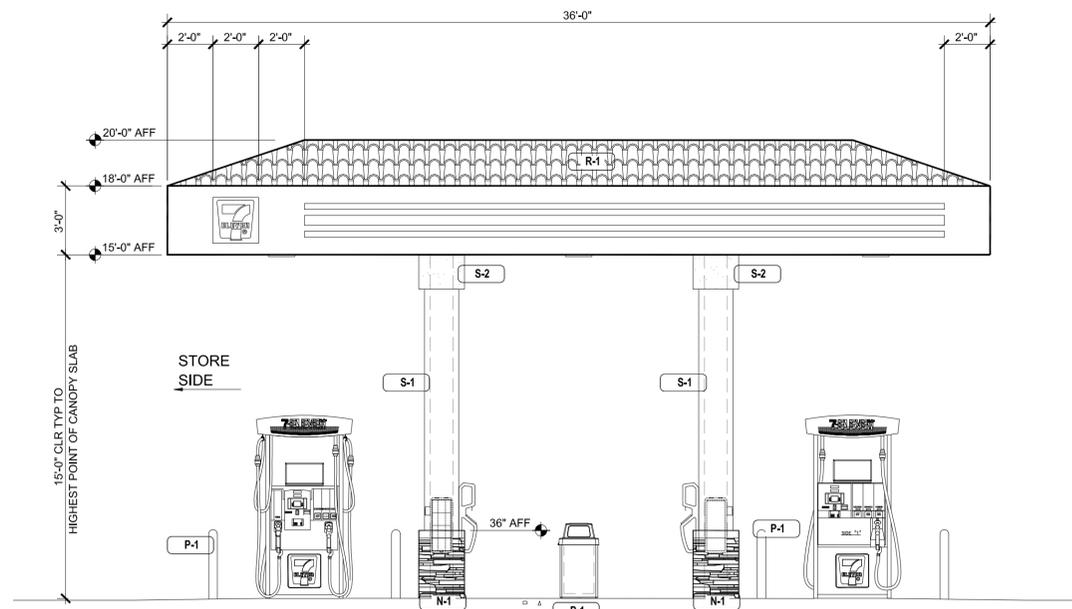
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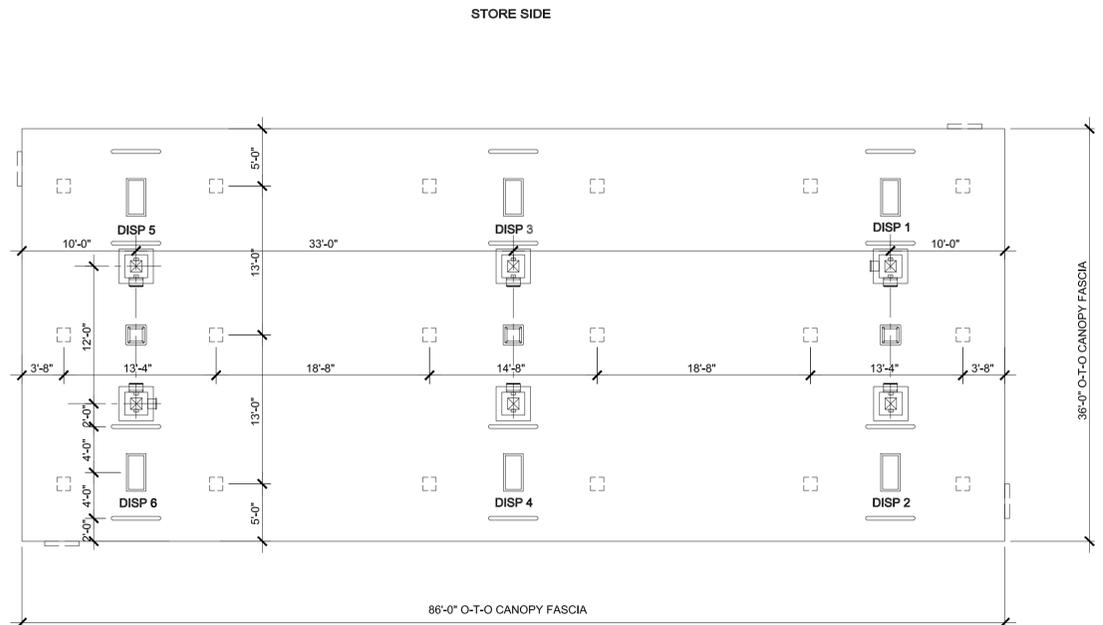
MATERIALS SCHEDULE		
NO.	MATERIAL	MANUF.-COLOR
MR-1	MEMBRANE ROOFING	DUROLAST - WHITE
N-1	FIBER CEMENT PANEL	NICHIHA - KURASTONE - LEDGESTONE
P-1	EXTERIOR HM DOORS, FRAMES, TRASH ENCLOSURE GATE, GRAVEL GUARDS, AND LIGHT POLES	SHERWIN WILLIAMS - SEAL SKIN SW 7675
R-1	SPANISH ROOF TILE	SANTA CRUZ BLEND (EAGLE - 9402)
SF-1	ALUMINUM STOREFRONT GLAZING	KAWNEER - 451T VG
S-1	STUCCO - BASE	OMEGA OR EQUAL TEXTURE = LIGHT LACE COLOR = 14 CREAM
S-2	STUCCO - TRIM	OMEGA OR EQUAL TEXTURE = LIGHT LACE COLOR = 221 HARVEST GOLD
W-1	PRE-TREATED WOOD BEAMS	PAINT TO MATCH STOREFRONT



5 ELEVATION - RIGHT (EAST - ALONG EMPIRE AVE.)
1/4" = 1'-0"



6 ELEVATION - FRONT (NORTH - ALONG LAUREL RD.)
1/4" = 1'-0"



A GAS CANOPY FLOOR LAYOUT (FOR REFERENCE)
1/8" = 1'-0"



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1038734 - 7-ELEVEN
NEW STORE
3979 Empire Ave.
Oakley, CA

APN: 053-071-050
OWNER:

PROPOSED
FUEL
CANOPY
ELEVATIONS

Scale: 1/4" = 1'-0" @ 22X34
Scale: 1/8" = 1'-0" @ 11x17

A106

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3D Perspective from Interior Corner



3D Perspective looking South West from Corner of Laurel & Empire



3D Perspective looking South East along Laurel Drive



3D Perspective looking North West along Empire Ave



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revision dates:

1038734 - 7-ELEVEN
NEW STORE
3979 Empire Ave.
Oakley, CA

APN: 053-071-050
OWNER:

RENDERING

Scale: N.T.S.

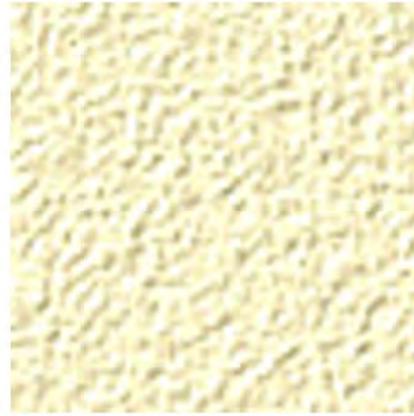
A107



**P-1 - Exterior Paint - Sherwin Williams
"Sealskin" SW-7675**



**N-1 - Nichiha - "Kurastone"
"Ledgestone"**

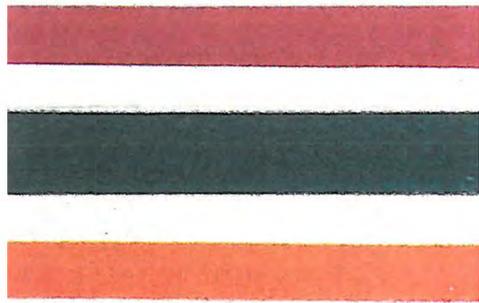


**S-1 - Base Stucco - OMEGA
"14 Cream"**



**S-2 - Accent Stucco - OMEGA
"221 Harvest Gold"**

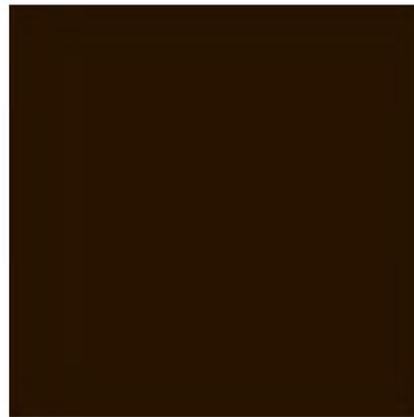
MATERIALS SCHEDULE		
NO.	MATERIAL	MANUF.-COLOR
MR-1	MEMBRANE ROOFING	DUROLAST - WHITE
N-1	FIBER CEMENT PANEL	NICHIHA - KURASTONE - LEDGESTONE
P-1	EXTERIOR HM DOORS, FRAMES, TRASH ENCLOSURE GATE, GRAVEL GUARDS, AND LIGHT POLES	SHERWIN WILLIAMS - SEAL SKIN SW 7675
R-1	SPANISH ROOF TILE	SANTA CRUZ BLEND (EAGLE - 9402)
SF-1	ALUMINUM STOREFRONT GLAZING	KAWNEER - 451T VG
S-1	STUCCO - BASE	OMEGA OR EQUAL TEXTURE = LIGHT LACE COLOR = 14 CREAM
S-2	STUCCO - TRIM	OMEGA OR EQUAL TEXTURE = LIGHT LACE COLOR = 221 HARVEST GOLD
W-1	PRE-TREATED WOOD BEAMS	PAINT TO MATCH STOREFRONT



ACM - Aluminum Composite Material



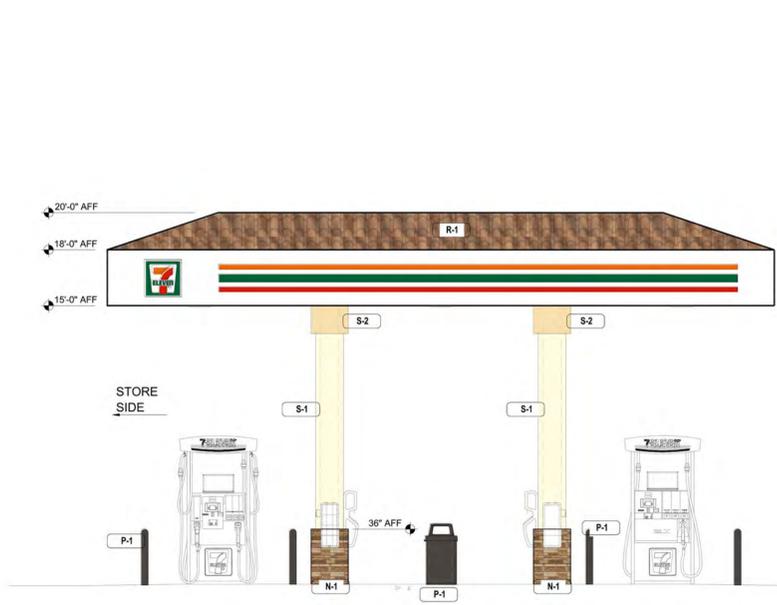
R-1 - Spanish Roof Tile - Eagle - "Santa Cruz Blend"



SF-1 - Kawneer - Storefront 451TG -



W-1 - Pre-Treated Wood Paint to Match SF-1



ELEVATION - FRONT (NORTH - ALONG LAUREL RD.)

1/4" = 1'-0"



ELEVATION - FRONT (NORTH - ALONG LAUREL RD.)

1/4" = 1'-0"



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**1038734 - 7-ELEVEN
NEW STORE**
3979 Empire Ave.
Oakley, CA

APN: 053-071-050
OWNER:

MATERIAL BOARD

Scale: N.T.S.

A108

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MATERIALS SCHEDULE		
NO.	MATERIAL	MANUF.-COLOR
MR-1	MEMBRANE ROOFING	DUROLAST - WHITE
N-1	FIBER CEMENT PANEL	NICHIHA - KURASTONE - LEDGESTONE
P-1	EXTERIOR HM DOORS, FRAMES, TRASH ENCLOSURE GATE, GRAVEL GUARDS, AND LIGHT POLES	SHERWIN WILLIAMS - SEAL SKIN SW 7675
R-1	SPANISH ROOF TILE	SANTA CRUZ BLEND (EAGLE - 9402)
SF-1	ALUMINUM STOREFRONT GLAZING	KAWNEER - 451T VG
S-1	STUCCO - BASE	OMEGA OR EQUAL TEXTURE = LIGHT LACE COLOR = 14 CREAM
S-2	STUCCO - TRIM	OMEGA OR EQUAL TEXTURE = LIGHT LACE COLOR = 221 HARVEST GOLD
W-1	PRE-TREATED WOOD BEAMS	PAINT TO MATCH STOREFRONT



WEST ELEVATION CALCULATIONS		
NO.	MATERIAL	AREA - (IN S.F.)
TOTAL		11,405 S.F.
N-1	FIBER CEMENT PANEL	1320 S.F.
P-1	EXTERIOR HM DOORS, FRAMES, TRASH ENCLOSURE GATE, GRAVEL GUARDS, AND LIGHT POLES	160 S.F.
R-1	SPANISH ROOF TILE	1120 S.F.
SF-1	ALUMINUM STOREFRONT GLAZING	1370 S.F.
S-1	STUCCO - BASE	1320 S.F.
S-2	STUCCO - TRIM	1170 S.F.
W-1	PRE-TREATED WOOD BEAMS	125 S.F.

NORTH ELEVATION CALCULATIONS		
NO.	MATERIAL	AREA - (IN S.F.)
TOTAL		11,425 S.F.
N-1	FIBER CEMENT PANEL	1440 S.F.
P-1	EXTERIOR HM DOORS, FRAMES, TRASH ENCLOSURE GATE, GRAVEL GUARDS, AND LIGHT POLES	175 S.F.
R-1	SPANISH ROOF TILE	1100 S.F.
SF-1	ALUMINUM STOREFRONT GLAZING	1355 S.F.
S-1	STUCCO - BASE	1295 S.F.
S-2	STUCCO - TRIM	1140 S.F.
W-1	PRE-TREATED WOOD BEAMS	120 S.F.



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1038734 - 7-ELEVEN
NEW STORE
3979 Empire Ave.
Oakley, CA

APN: 053-071-050
OWNER:

PROPOSED
ELEVATIONS
WEST -
NORTH

Scale: 1/4" = 1'-0" @ 22X34
Scale: 1/8" = 1'-0" @ 11x17

A204

2/19/16 CONDITIONAL PERMIT SUBMITTAL

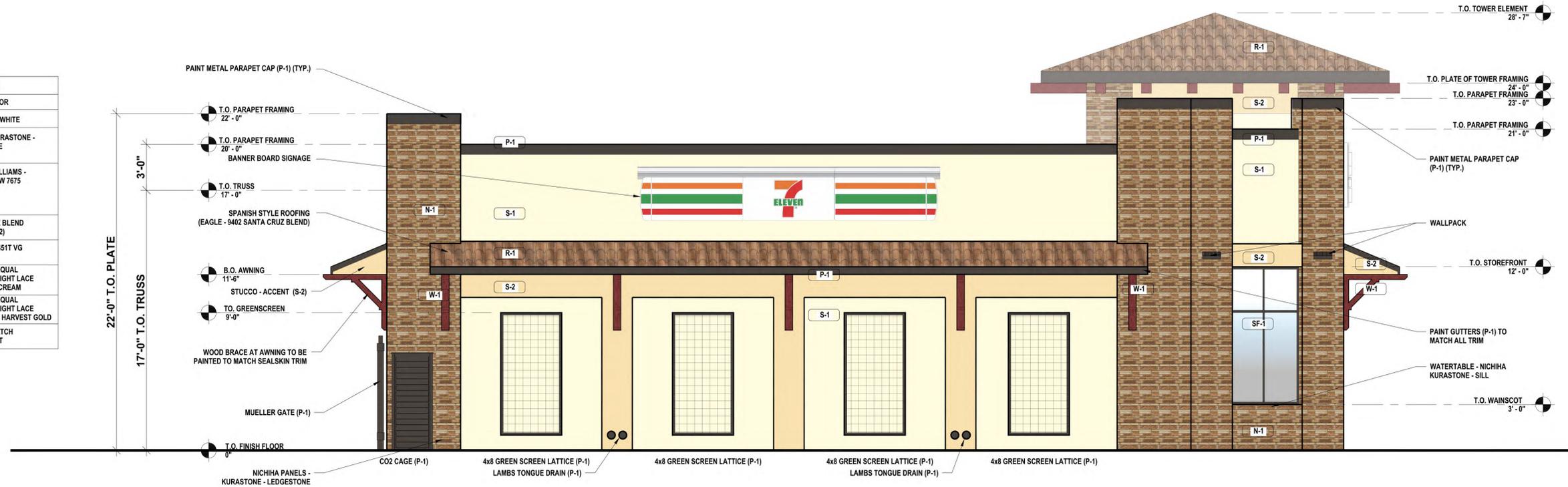
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MATERIALS SCHEDULE		
NO.	MATERIAL	MANUF.-COLOR
MR-1	MEMBRANE ROOFING	DUROLAST - WHITE
N-1	FIBER CEMENT PANEL	NICHIHA - KURASTONE - LEDGESTONE
P-1	EXTERIOR HM DOORS, FRAMES, TRASH ENCLOSURE GATE, GRAVEL GUARDS, AND LIGHT POLES	SHERWIN WILLIAMS - SEAL SKIN SW 7675
R-1	SPANISH ROOF TILE	SANTA CRUZ BLEND (EAGLE - 9402)
SF-1	ALUMINUM STOREFRONT GLAZING	KAWNEER - 451T VG
S-1	STUCCO - BASE	OMEGA OR EQUAL TEXTURE = LIGHT LACE COLOR = 14 CREAM
S-2	STUCCO - TRIM	OMEGA OR EQUAL TEXTURE = LIGHT LACE COLOR = 221 HARVEST GOLD
W-1	PRE-TREATED WOOD BEAMS	PAINT TO MATCH STOREFRONT

EAST ELEVATION CALCULATIONS		
NO.	MATERIAL	AREA - (IN S.F.)
	TOTAL	±1,425 S.F.
N-1	FIBER CEMENT PANEL	±330 S.F.
P-1	EXTERIOR HM DOORS, FRAMES, TRASH ENCLOSURE GATE, GRAVEL GUARDS, AND LIGHT POLES	±120 S.F.
R-1	SPANISH ROOF TILE	±120 S.F.
SF-1	ALUMINUM STOREFRONT GLAZING	±40 S.F.
S-1	STUCCO - BASE	±645 S.F.
S-2	STUCCO - TRIM	±145 S.F.
W-1	PRE-TREATED WOOD BEAMS	±25 S.F.

SOUTH ELEVATION CALCULATIONS		
NO.	MATERIAL	AREA - (IN S.F.)
	TOTAL	±1,415 S.F.
N-1	FIBER CEMENT PANEL	±205 S.F.
P-1	EXTERIOR HM DOORS, FRAMES, TRASH ENCLOSURE GATE, GRAVEL GUARDS, AND LIGHT POLES	±230 S.F.
R-1	SPANISH ROOF TILE	±140 S.F.
SF-1	ALUMINUM STOREFRONT GLAZING	±70 S.F.
S-1	STUCCO - BASE	±570 S.F.
S-2	STUCCO - TRIM	±175 S.F.
W-1	PRE-TREATED WOOD BEAMS	±25 S.F.



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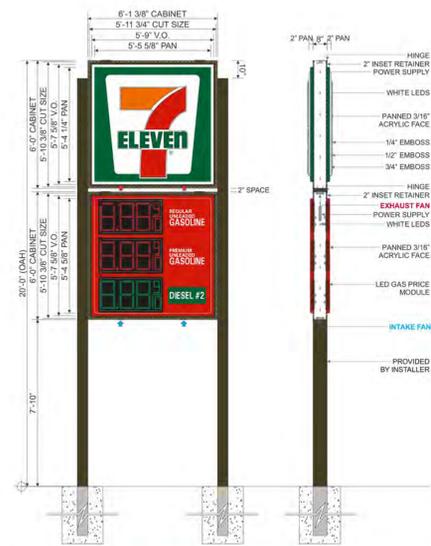
1038734 - 7-ELEVEN
NEW STORE
3979 Empire Ave.
Oakley, CA

APN: 053-071-050
OWNER:

PROPOSED
ELEVATIONS
EAST -
SOUTH
Scale: 1/4" = 1'-0" @ 92X34
Scale: 1/8" = 1'-0" @ 11x17

A205

2/19/16 CONDITIONAL PERMIT SUBMITTAL



Square Footage Calculations:

Allowed:	84.0 sqft
Proposed:	73.4 sqft

Allowable Sign Height:

Formula:	Half of sign Area
Allowed:	20'-0" Max
Proposed:	20'-0"

PRODUCT/LED MODULE SPECS:
 LED UNIT SIZE: 20.1" X 36.7"
 LED UNIT V.O.: 20.1" X 36.7"
 LED CHARACTER SIZE: 16"
 PRODUCT BACKGROUND: 9.5" X 21.5"
 PRODUCT COPY: 2"
 GASOLINE COPY: 4"
 DIESEL COPY: 4"
 FONT: UNIVERSE BOLD

7-ELEVEN LOGO DIMENSIONS:
 OAH: 58 1/2"
 OAL: 53 7/16"

MANUFACTURE & SHIP ONE (1) M37 (03130798) D/F INTERNALLY ILLUMINATED "MAIN ID" SIGN CABINET. 3/16" THICK PAN FORMED & EMBOSSED WHITE ACRYLIC FACES W/ TRANSLUCENT VINYL GRAPHICS APPLIED FIRST SURFACE. 8" DEEP EXTRUDED ALUM. CABINET W/ 2" INSET HINGED RETAINERS TO BE PAINTED DURANODIC BRONZE. CABINET TO BE INTERNALLY ILLUMINATED W/ WHITE LEDES. 2" INSET RETAINERS TO BE HINGED ON ONE SIDE OF CABINET.

7-ELEVEN VINYL SPECS: 3M 3630-44 ORANGE, 3M 3630-33 RED, 3M 3630-26 GREEN

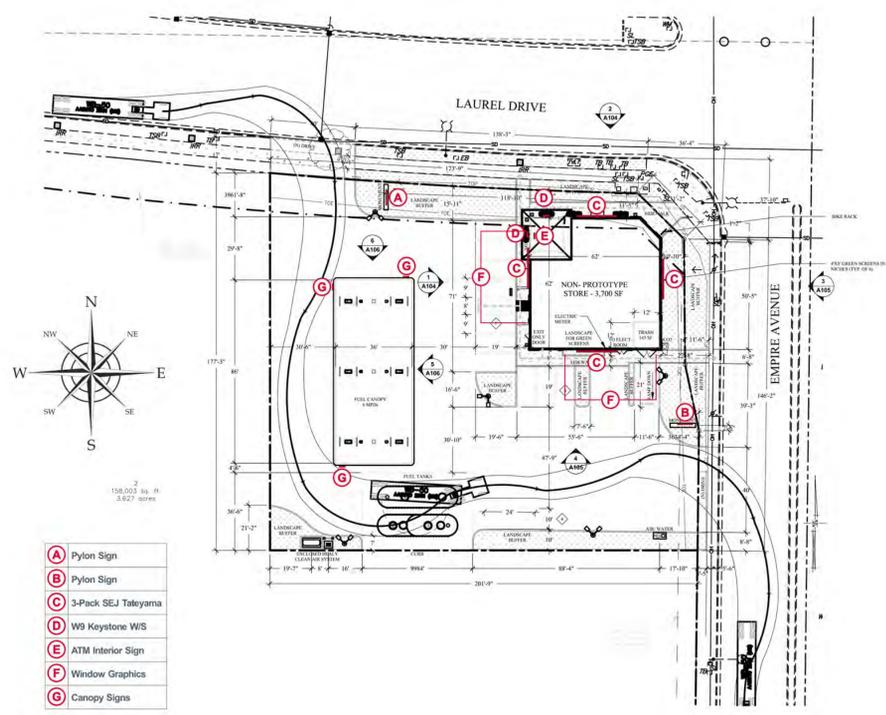
MANUFACTURE & SHIP ONE (1) L37G3D-CA (00000000) D/F DIESEL 3-PRODUCT INTERNALLY ILLUMINATED SIGN CABINET W/ RED & GREEN LED DIGITS. CABINET TO BE INTERNALLY ILLUMINATED W/ WHITE LEDES. 3/16" THICK PAN FORMED CLEAR POLYCARBONATE FACES BACK SPRAYED PMS 485 RED THEN PMS WHITE W/ 3M 3630-26 GREEN TRANSLUCENT VINYL & 3M 7725-12 BLACK VINYL TRIM AROUND LED WINDOW APPLIED SECOND SURFACE. 8" DEEP EXTRUDED ALUM. CABINET RAIN CAP & 2" INSET RETAINERS ALL TO BE PAINTED DURANODIC BRONZE. RETAINERS TO BE HINGED ON BOTH SIDES OF THE CABINET.

PROVIDE CUSTOMER W/ STANDARD 16" DIGIT RED & GREEN LED MODULES.

7-ELEVEN PAINT SPECS: PMS 485 RED, PMS WHITE
 7-ELEVEN VINYL SPECS: 3M 3630-26 GREEN, 3M 7725-12 BLACK

NOTE: FOOTING & VERTICAL STEEL DESIGNED AND PROVIDED BY INSTALLER.
NOTE: GAS PRICE CABINET MUST HAVE 2" OF SPACE ABOVE & BELOW FOR PROPER LED MODULE VENTILATION.

3 Front View & Side Detail - M37 & L37G3D-CA Pylon Sign - Sign B
 1/4" = 1'-0"
 Display Square Footage(Cabinets Combined): 73.4



- A Pylon Sign
- B Pylon Sign
- C 3-Pack SEJ Taleyama
- D W9 Keystone WIS
- E ATM Interior Sign
- F Window Graphics
- G Canopy Signs

1 Site Plan
 1" = 40'-0"



7-Eleven #1038734
 3979 EMPIRE AVE
 OAKLEY, CA 94561

SVE4887-R2

REV	BY	DESCRIPTION	DATE	APPROVED
02.03.16	00	Original Concept		
02.19.16	01	New Elevations		
03.07.16	R2	New Elevations & Sign Plan Again		

Salesperson: rg PM: mn Designer: vs Page: 3
 customer approval date:

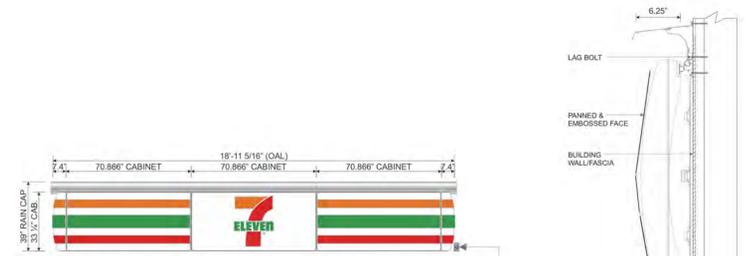


7-Eleven #1038734
 3979 EMPIRE AVE
 OAKLEY, CA 94561

SVE4887-R2

REV	BY	DESCRIPTION	DATE	APPROVED
02.03.16	00	Original Concept		
02.19.16	01	New Elevations		
03.07.16	R2	New Elevations & Sign Plan Again		

Salesperson: rg PM: mn Designer: vs Page: 1
 customer approval date:

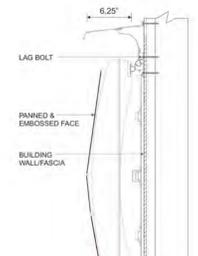


FOUR (4) SETS OF 33 1/4" S/F INTERNALLY ILLUMINATED WALL SIGNS (SEJ 1800 SERIES).

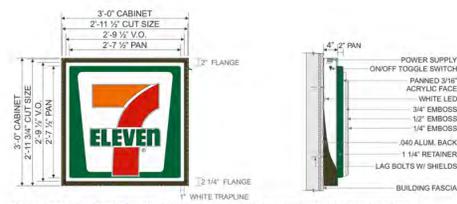
ELECTRICAL NOTE: EXPOSED EXTERIOR 20 AMP WEATHERPROOF ELECTRICAL DISCONNECT REQUIRED WITHIN VISUAL RANGE OF SIGN REQUIRED FOR EVERY 16 AMPS OF SIGNAGE. ACTUAL NUMBER OF CIRCUITS TO BE DETERMINED BY LICENSED ELECTRICAL CONTRACTOR. ACTUAL LOCATION OF BOX MAY VARY. CIRCUITS AND SWITCH TO BE PROVIDED BY OTHERS. INPUT VOLTAGE - 120V. ALL SIGNAGE WILL BE (MET) LISTED (UL) 48STD COMPLIANT AND CARRY (MET) LABELS.

NOTE: FOR COMPLETE INSTALL INSTRUCTIONS, REFER TO ENCLOSED MANUFACTURER'S DOCUMENTS.

4 Front Elevation - SEJ 1800 Series Wall Sign Cabinets - Sign Type C
 1/4" = 1'-0"
 Display Square Footage(Cabinets): 52.5 Each Set



5 Side Mounting Detail - Sign Type C
 NTS

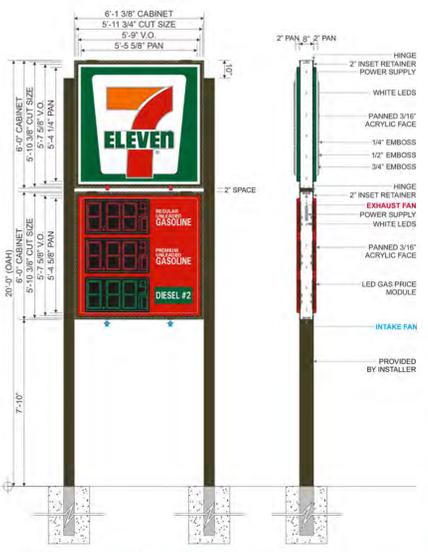


MANUFACTURE & SHIP TWO (2) W9 (00000000) S/F INTERNALLY ILLUMINATED WALL SIGN CABINET. 3/16" THICK PAN FORMED & EMBOSSED WHITE ACRYLIC FACE W/ TRANSLUCENT VINYL GRAPHICS APPLIED FIRST SURFACE. 4" DEEP EXTRUDED ALUM. CABINET W/ 1 1/4" RETAINERS TO BE PAINTED DURANODIC BRONZE. CABINET TO BE INTERNALLY ILLUMINATED W/ WHITE LEDES.

VINYL SPECS: 3M 3630-44 ORANGE, 3M 3630-33 RED, 3M 3630-26 GREEN
 PAINT SPECS: DURANODIC BRONZE

7-ELEVEN LOGO DIMENSIONS:
 OAH: 29 1/2"
 OAL: 27"

6 Face & Side Detail - W9 Wall Sign Cabinet - Sign Type D
 1/8" = 1'-0"
 Display Square Footage(Cabinet): 9.0 Each



Square Footage Calculations:

Allowed:	84.0 sqft
Proposed:	73.4 sqft

Allowable Sign Height:

Formula:	Half of sign Area
Allowed:	20'-0" Max
Proposed:	20'-0"

PRODUCT/LED MODULE SPECS:
 LED UNIT SIZE: 20.1" X 36.7"
 LED UNIT V.O.: 20.1" X 36.7"
 LED CHARACTER SIZE: 16"
 PRODUCT BACKGROUND: 9.5" X 21.5"
 PRODUCT COPY: 2"
 GASOLINE COPY: 4"
 DIESEL COPY: 4"
 FONT: UNIVERSE BOLD

7-ELEVEN LOGO DIMENSIONS:
 OAH: 58 1/2"
 OAL: 53 7/16"

MANUFACTURE & SHIP ONE (1) M37 (03130798) D/F INTERNALLY ILLUMINATED "MAIN ID" SIGN CABINET. 3/16" THICK PAN FORMED & EMBOSSED WHITE ACRYLIC FACES W/ TRANSLUCENT VINYL GRAPHICS APPLIED FIRST SURFACE. 8" DEEP EXTRUDED ALUM. CABINET W/ 2" INSET HINGED RETAINERS TO BE PAINTED DURANODIC BRONZE. CABINET TO BE INTERNALLY ILLUMINATED W/ WHITE LEDES. 2" INSET RETAINERS TO BE HINGED ON ONE SIDE OF CABINET.

7-ELEVEN VINYL SPECS: 3M 3630-44 ORANGE, 3M 3630-33 RED, 3M 3630-26 GREEN

MANUFACTURE & SHIP ONE (1) L37G3D-CA (00000000) D/F DIESEL 3-PRODUCT INTERNALLY ILLUMINATED SIGN CABINET W/ RED & GREEN LED DIGITS. CABINET TO BE INTERNALLY ILLUMINATED W/ WHITE LEDES. 3/16" THICK PAN FORMED CLEAR POLYCARBONATE FACES BACK SPRAYED PMS 485 RED THEN PMS WHITE W/ 3M 3630-26 GREEN TRANSLUCENT VINYL & 3M 7725-12 BLACK VINYL TRIM AROUND LED WINDOW APPLIED SECOND SURFACE. 8" DEEP EXTRUDED ALUM. CABINET RAIN CAP & 2" INSET RETAINERS ALL TO BE PAINTED DURANODIC BRONZE. RETAINERS TO BE HINGED ON BOTH SIDES OF THE CABINET.

PROVIDE CUSTOMER W/ STANDARD 16" DIGIT RED & GREEN LED MODULES.

7-ELEVEN PAINT SPECS: PMS 485 RED, PMS WHITE
 7-ELEVEN VINYL SPECS: 3M 3630-26 GREEN, 3M 7725-12 BLACK

NOTE: FOOTING & VERTICAL STEEL DESIGNED AND PROVIDED BY INSTALLER.
NOTE: GAS PRICE CABINET MUST HAVE 2" OF SPACE ABOVE & BELOW FOR PROPER LED MODULE VENTILATION.

2 Front View & Side Detail - M37 & L37G3D-CA Pylon Sign - Sign A
 1/4" = 1'-0"
 Display Square Footage(Cabinets Combined): 73.4



7-Eleven #1038734
 3979 EMPIRE AVE
 OAKLEY, CA 94561

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Salesperson: rg PM: mn Designer: vs Page: 4
 customer approval date:



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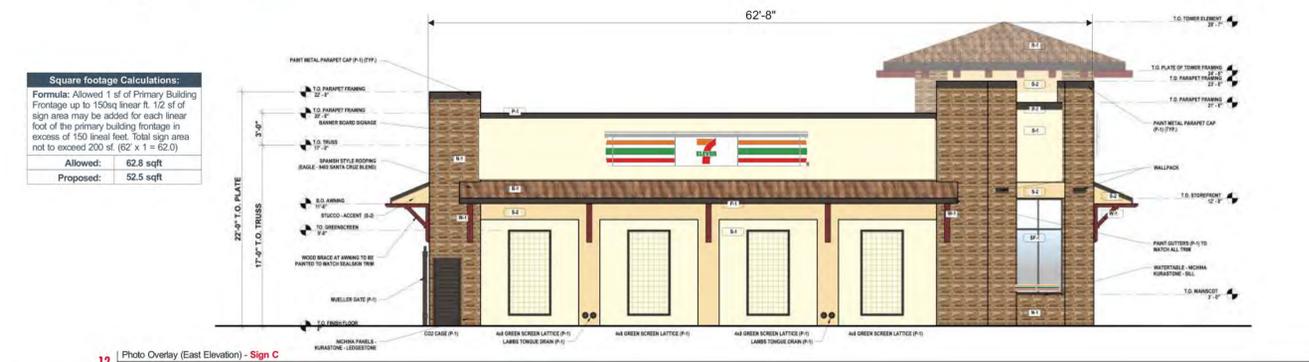
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02.03.16	00	Original Concept		
02.19.16	01	New Elevations		
03.07.16	R2	New Elevations & Sign Plan Again		

Salesperson: rg PM: mn Designer: vs Page: 2
 customer approval date:





11 Photo Overlay (North Elevation) - Sign C & D
1/8" = 1'-0"



12 Photo Overlay (East Elevation) - Sign C
1/8" = 1'-0"

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7-Eleven #1038734
3979 EMPIRE AVE
OAKLEY, CA 94561

SVE4887-R2

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SVE4887-R2 #1038734.cdr

REV	DATE	DESCRIPTION	BY	CHK
02.03.16	00	Original Concept	vs	gh
02.19.16	01	New Elevations	vs	gh
03.07.16	R2	New Elevations & Sign Plan Again	vs	gh

Salesperson: rg PM: mn Designer: vs Page: 7
customer approval date:



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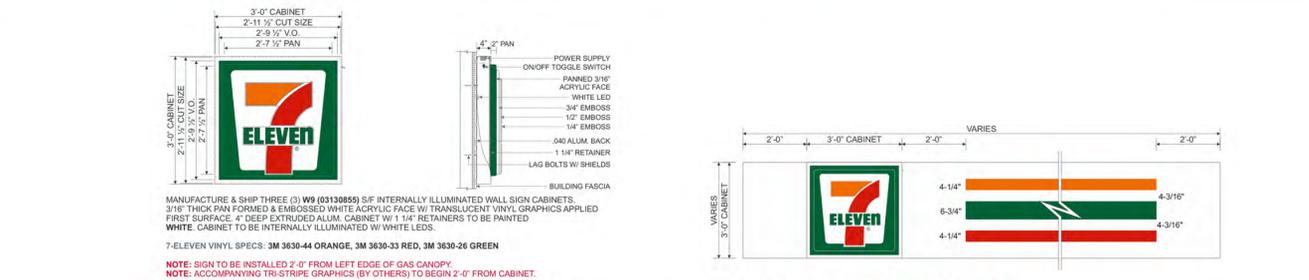
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REV	DATE	DESCRIPTION	BY	CHK
02.03.16	00	Original Concept	vs	gh
02.19.16	01	New Elevations	vs	gh
03.07.16	R2	New Elevations & Sign Plan Again	vs	gh

Salesperson: rg PM: mn Designer: vs Page: 5
customer approval date:



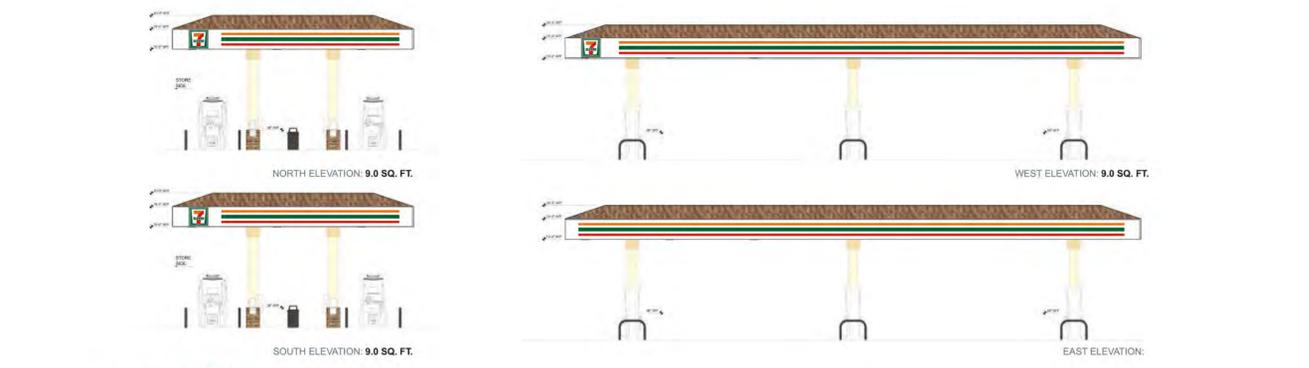
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13 Front Elevation & Side Mounting Detail - W9 (01310855) Canopy Sign Cabinets - Sign Type G
1/2" = 1'-0"

14 Front Elevation & Side Detail - Typical 36" Canopy Sign & Graphic Layout
3/4" = 1'-0"

NOTE: CANOPY SHOWN FOR ILLUSTRATIVE PURPOSES ONLY ACTUAL CANOPY TO VARY FROM RENDERING.



15 Canopy Overlay - Sign Type G
NTS

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OAKLEY, CA 94561

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SVE4887-R2

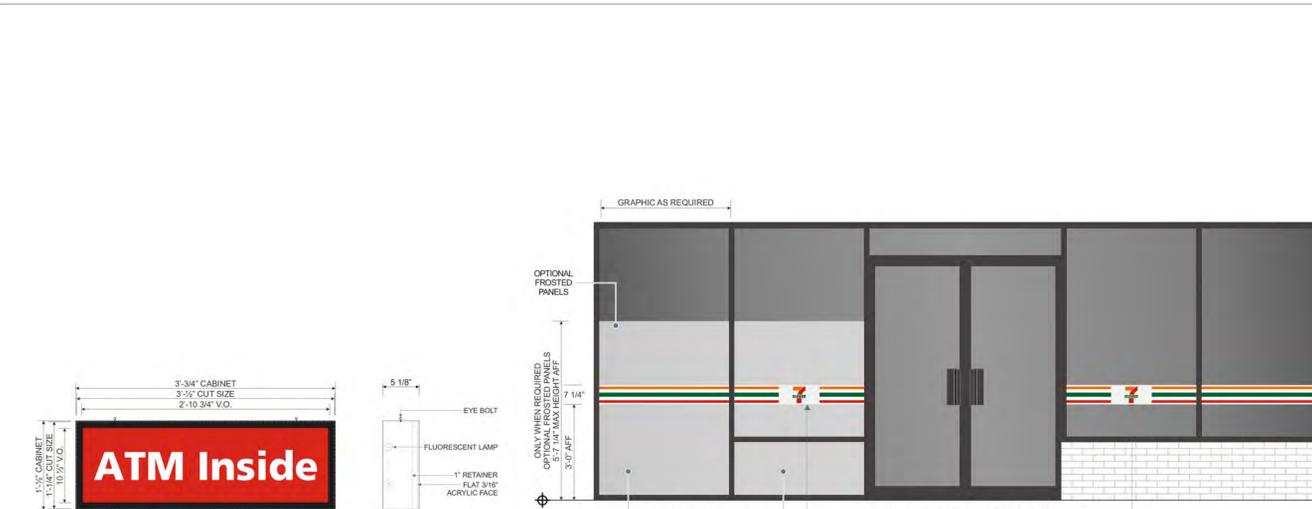
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7 Front Elevation & Side Mounting Detail - Standard ATM S/F Window Sign - Sign E
1" = 1'-0"

8 Front Elevation - Typical Window Vinyl Graphics - Sign F
3/8" = 1'-0"

INSTALL ONE (1) STANDARD INTERNALLY ILLUMINATED S/F WINDOW SIGN, 3/16" THICK FLAT WHITE ACRYLIC FACE WITH TRANSLUCENT VINYL GRAPHICS APPLIED FIRST SURFACE. CABINET TO BE INTERNALLY ILLUMINATED WITH 8-H.O. FLUORESCENT LAMPS. 3" DEEP ALUM. CABINET & 1" RETAINERS ALL PAINTED BLACK. SIGN TO HANG INSIDE THE STORE BEHIND GLASS AS INDICATED IN PHOTO OVERLAY WITH EYE BOLTS.

VINYL SPECS: 3M 3630-33 RED

NOTE: ATM SIGN TO BE FABRICATED & PROVIDED BY OTHERS

WINDOW VINYL GRAPHICS:
 VINYL GRAPHICS TO BE APPLIED SECOND SURFACE ONTO DESIGNATED STORE WINDOWS.
NOTE: WINDOW GRAPHICS KITS TO BE PROVIDED AND INSTALLED BY OTHERS. NOT PART OF HARBINGER'S SCOPE OF WORK.
NOTE: FOR FULL INSTALLATION INSTRUCTIONS, REFER TO 7-ELEVEN SIGNAGE MANUAL.

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3979 EMPIRE AVE
OAKLEY, CA 94561

SVE4887-R2

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REV	DATE	DESCRIPTION	BY	CHK
02.03.16	00	Original Concept	vs	gh
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9 Photo Overlay (South Elevation) - Signs C & F
1/8" = 1'-0"



10 Photo Overlay (West Elevation) - Signs C, D, E & F
1/8" = 1'-0"

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customer approval date:



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STORMWATER CONTROL PLAN
for
3979 Empire Ave.
7-Eleven Oakley

February 3, 2016

**Smith Development and Construction Company
Representative: Mid-Valley Engineering, Inc.**

prepared by:

**Derek Martis, P.E., Mid-Valley Engineering, Inc.
1117 L Street, Modesto California 95354**

P: 866526-4214

E: dmartis@mve.net

TABLE OF CONTENTS

- I. Project Data 1
- II. Setting 1
 - II.A. Project Location and Description1
 - II.B. Existing Site Features and Conditions2
 - II.C. Opportunities and Constraints for Stormwater Control.....2
- III. Low Impact Development Design Strategies2
 - III.A. Optimization of Site Layout.....2
 - III.A.1. Limitation of development envelope 2
 - III.A.2. Preservation of natural drainage features 2
 - III.A.3. Setbacks from creeks, wetlands, and riparian habitats 2
 - III.A.4. Minimization of imperviousness 2
 - III.A.5. Use of drainage as a design element 2
 - III.B. Use of Permeable Pavements.....2
 - III.C. Dispersal of Runoff to Pervious Areas.....2
 - III.D. Feasibility Assessment of Harvesting and Use for Treatment and Flow-Control.....3
 - III.D.1. Permeability of Site Soils 3
 - III.D.2. Potential Opportunities for Harvesting and Use 3
 - III.D.3. Harvesting and Use Feasibility Calculations 3
 - III.E. Integrated Management Practices3
- IV. Documentation of Drainage Design3
 - IV.A. Descriptions of each Drainage Management Area3
 - IV.A.1. Table of Drainage Management Areas 3
 - IV.A.2. Drainage Management Area Descriptions 3
 - IV.B. Tabulation and Sizing Calculations4
 - IV.B.1. Information Summary for IMP Design 4
 - IV.B.2. Self-Treating Areas 4
 - IV.B.3. Self-Retaining Areas 4
 - IV.B.4. Areas Draining to Self-Retaining Areas 4
 - IV.B.5. Areas Draining to IMPs 4
 - IV.B.6. Areas Draining to Non-LID Treatment]4
- V. Source Control Measures4
 - V.A. Site activities and potential sources of pollutants.....4
 - V.B. Source Control Table4
 - V.C. Features, Materials, and Methods of Construction of Source Control BMPs5
- VI. Stormwater Facility Maintenance.....5
 - VI.A. Ownership and Responsibility for Maintenance in Perpetuity.....5
 - VI.B. Summary of Maintenance Requirements for Each Stormwater Facility5
- VII. Construction Plan C.3 Checklist5
- VIII. Certifications6

Tables

Table 1. Project Data	1
Table 2. Drainage Management Areas	3
Table 3. V.B. Source Control	4
Table 4. Construction Plan C.3 Checklist.....	5

Figures

Vicinity Map	6
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Attachments

Stormwater Control Plan Exhibit

Landscape Plans

Integrated Management Practice Calculator Summary

This Stormwater Control Plan was prepared using the template dated February 15, 2012.

I. PROJECT DATA

Table 1. Project Data

Project Name/Number	3979 Empire Ave./ 7-Eleven Oakley
Application Submittal Date	[to be verified by municipal staff]
Project Location	3979 Empire Ave., Oakley, Ca.
Name of Developer	
Project Phase No.	NA
Project Type and Description	One Story Retail: Gas and Convenience
Project Watershed	[Request from municipal staff]
Total Project Site Area (acres)	0.80
Total Area of Land Disturbed (acres)	0.80
Total New Impervious Surface Area (sq. ft.)	29,304
Total Replaced Impervious Surface Area	0
Total Pre-Project Impervious Surface Area	0
Total Post-Project Impervious Surface Area	29,304
50% Rule[*]	NA
Project Density	FAR=10.8%
Applicable Special Project Categories [Complete even if all treatment is LID]	NA
Percent LID and non LID treatment	100% LID treatment
HMP Compliance [†]	Does not apply

[*50% rule applies if:

Total Replaced Impervious Surface Area > 0.5 x Pre-Project Impervious Surface Area]

[†HMP applies if:

(Total New Impervious Surface Area + Total Replaced Impervious Surface Area) ≥ 1 acre]

II. SETTING

II.A. Project Location and Description

The project is located at 3979 Empire Avenue on the SW corner of Empire Avenue and Laurel Drive. The project consists of a new 3565 square foot 7-Eleven gas/Convenience store. The site will have two access points one on Laurel Drive and the other on Empire Avenue. The site is bordered

to the south by the Randall-Bold Water Treatment Plant, to the west by agricultural land to the north by single family residential(North side of Laurel Drive) and on the east by single family residential (east of Empire Avenue). The site will require 5-6 feet of fill to facilitate the proposed improvements.

II.B. Existing Site Features and Conditions

The existing site consists of plowed agricultural land which is 5-6 feet lower in grade than the surrounding grades on Laurel Drive and Empire Avenue. The existing site slope gently to the NE and then westerly along the south side of Laurel Drive. There are no existing drainage facilities on the site due to its current use.

II.C. Opportunities and Constraints for Stormwater Control

Constraints: The site is lower than the adjacent roads and will require fill to create positive drainage off the site.

Opportunities: Corner location very desirable for the proposed use.

III. LOW IMPACT DEVELOPMENT DESIGN STRATEGIES

III.A. Optimization of Site Layout

III.A.1. Limitation of development envelope

The site is optimized in that it is sized to provide only the necessary improvements including Landscaping, LID measure, Parking and building. All areas are used to their maximum potential.

III.A.2. Preservation of natural drainage features

The site sits much lower than the surrounding areas. No defined natural drainage courses.

III.A.3. Setbacks from creeks, wetlands, and riparian habitats

No known creeks, wetlands or riparian habitats.

III.A.4. Minimization of imperviousness

Impervious area is minimized to the extent needed for pedestrian and vehicular traffic.

III.A.5. Use of drainage as a design element

The project utilizes the landscape areas for drainage and LID implementation.

III.B. Use of Permeable Pavements

Based on the preliminary IMP Calculations permeable pavements are not warranted.

III.C. Dispersal of Runoff to Pervious Areas

Runoff is directed to Self Contained Drainage Management Areas and Integrated Management Practices facilities.

III.D. Feasibility Assessment of Harvesting and Use for Treatment and Flow-Control

III.D.1. Permeability of Site Soils

Soil classification A is typically higher permeable soils. Soil being used as fill will come from the remainder parcel to the west.

III.D.2. Potential Opportunities for Harvesting and Use

Water harvesting is not needed due to the soil permeability. The roof area is 3,796 square feet. [

III.D.3. Harvesting and Use Feasibility Calculations

Harvesting is not being used for this project. Table removed.

III.E. Integrated Management Practices

The project intends to use a Bioretention Facility for the majority of the site. This facility is identified as IMP 1 on the site Stormwater Control Plan.

IV. DOCUMENTATION OF DRAINAGE DESIGN

IV.A. Descriptions of each Drainage Management Area

IV.A.1. Table of Drainage Management Areas

Table 2

ID #	Oakley Storm Management Areas (DMA)	Area(sf)	Soil Hydrolic Group	Classification	DRAINS TO
DMA1	PROPANE PAD - CONCRETE	65.4	A	DRAINS TO SELF RETAINING	DMA2
DMA2	LANDSCAPE SW CORNER	464.1	A	SELF RETAINING AREA	SELF
DMA3	AIR/WATER - CONCRETE	18.0	A	DRAINS TO SELF RETAINING	DMA4
DMA4	LANDSCAPE SE CORNER	987.1	A	SELF RETAINING AREA	SELF
DMA5	LANDSCAPE SW CORNER OF BLDG	278.8	A	SELF RETAINING AREA	SELF
DMA6	LANDSCAPE PENINSULA	139.8	A	SELF RETAINING AREA	SELF
DMA7	LANDSCAPE EAST SIDE	2,058.7	A	SELF RETAINING AREA	SELF
DMA8	LANDSCAPE ISLAND S OF BLDG	60.0	A	SELF RETAINING AREA	SELF
DMA9	LANDSCAPE NORTH	436.6	A	SELF RETAINING AREA	SELF
DMA10	NORTH CONCRETE WALKWAY	514.7	A	DRAINS TO SELF RETAINING	DMA9
DMA11	EAST CONCRETE WALKWAY	100.1	A	DRAINS TO SELF RETAINING	DMA7
DMA12	PARKING LOT/CONCRETE WALKWAY	24,809.4	A	DRAINS TO IMP	IMP1
DMA13	ROOF	3,796.0	A	DRAINS TO SELF RETAINING	DMA7
IMP1	BIORETENTION AREA - IMP1	1,154.5	A	IMP	
TOTAL		34,883.2			

IV.A.2. Drainage Management Area Descriptions

See Table 2 above.

IV.B. Tabulation and Sizing Calculations

IV.B.1. Information Summary for IMP Design

Total Project Area (Square Feet)	34,883.2
Mean Annual Precipitation	13.31
IMPs Designed For:	Treatment Only

IV.B.2. Self-Treating Areas

No Self Treating areas proposed.

IV.B.3. Self-Retaining Areas

See IMP Sizing Calculator Sizing Summary in Appendix A

IV.B.4. Areas Draining to Self-Retaining Areas

See IMP Sizing Calculator Sizing Summary in Appendix A

IV.B.5. Areas Draining to IMPs

See IMP Sizing Calculator Sizing Summary in Appendix A

IV.B.6. Areas Draining to Non-LID Treatment

The project does not have any DMA's draining to Non-LID Treatment

V. SOURCE CONTROL MEASURES

V.A. Site activities and potential sources of pollutants

Project consists of a gas station and convenience store. Potential source of pollutants are the fueling of vehicles.

V.B. Source Control Table 3

<i>Potential source of runoff pollutants</i>	<i>Permanent source control BMPs</i>	<i>Operational source control BMPs</i>
Refuse Area	Site shown on Plan. Location in building with vented double doors. See Plan Graded to prevent run on	One Receptacle for site. "No Hazardous Material" Sign posted on Doors. Clean spills immediately

		Clean and Pick up litter daily
Fuel Dispensing Area	<p>Covered with canopy beyond fueling area.</p> <p>Concrete fueling pad at minimum slope.</p> <p>Site drainage drains away from concrete pad.</p>	Dry Sweep Daily

V.C. Features, Materials, and Methods of Construction of Source Control BMPs

Refuse area will be integral the building. The door will be vented and be able to be locked.

Fueling Area are covered with a structural canopy. Canopy roof will drain to the outside of the fueling areas. Concrete pad (floor) will be smooth concrete poured in place to the grades shown on the grading plan.

VI. STORMWATER FACILITY MAINTENANCE

VI.A. Ownership and Responsibility for Maintenance in Perpetuity

Owner/operator will enter into an agreement with proper authorities to maintain the facilities.

Owner/Operator accepts responsibility for all operations and maintenance of facilities until that responsibility is legally transferred.

VI.B. Summary of Maintenance Requirements for Each Stormwater Facility

All Landscape areas including those used for stormwater will have continued maintenance including pruning of shrubs, clean up of litter. groundcover material shall be kept even to prevent isolated ponding of stormwater.

VII. CONSTRUCTION PLAN C.3 CHECKLIST

Check list will be completed and submitted prior to building/grading permit.

Table 4

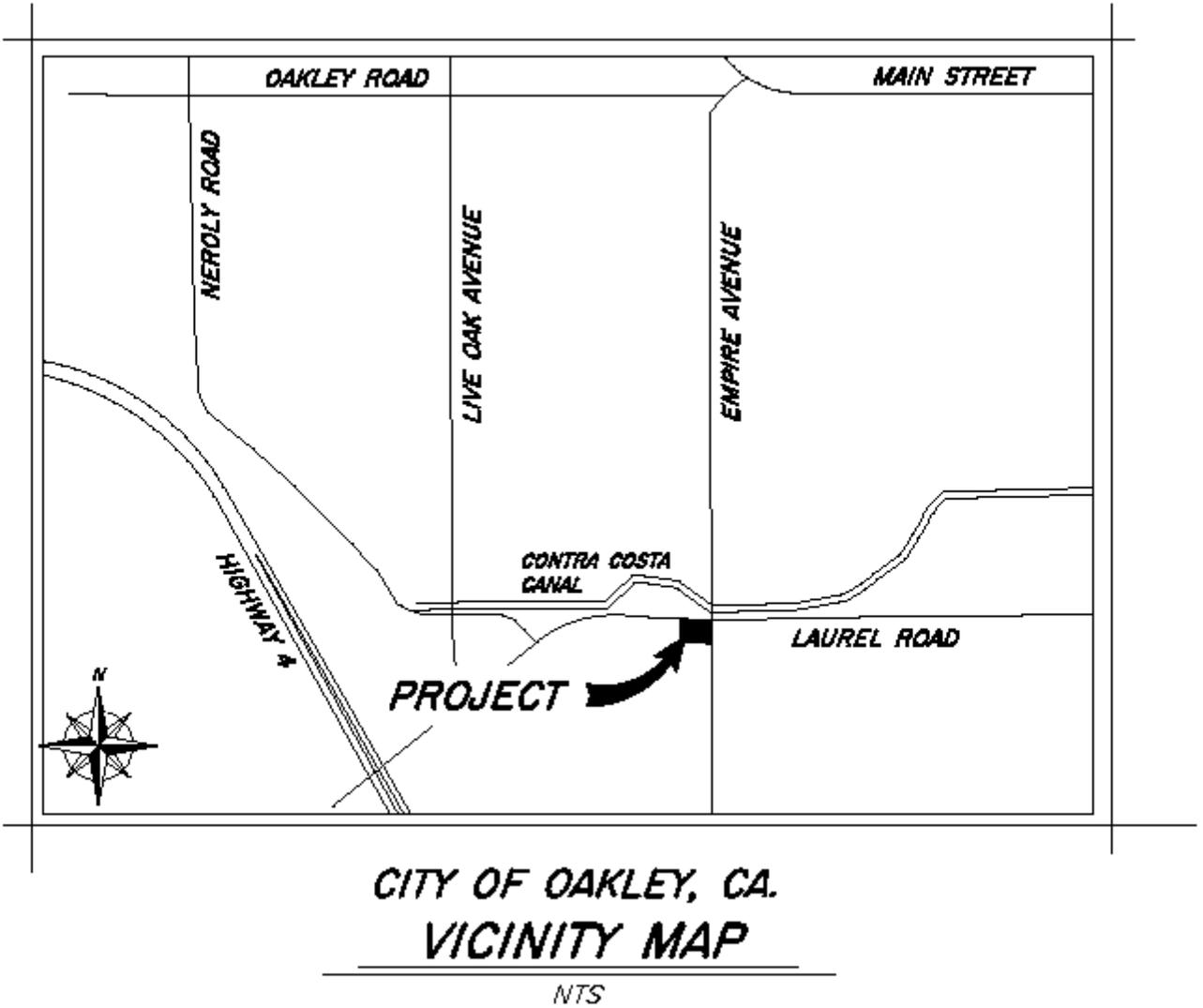
*Stormwater
Control
Plan
Page #*

BMP Description

See Plan Sheet #s

VIII. CERTIFICATIONS

The selection, sizing, and preliminary design of stormwater treatment and other control measures in this plan meet the requirements of Regional Water Quality Control Board Order R2-2009-0074 and Order R2-2011-0083.



Project Name: Oakley 7-11
Project Type: Treatment Only
APN: 053-071-050
Drainage Area: 34,883
Mean Annual Precipitation: 13.3

II. Self-Retaining Areas

Self-Retaining DMA	
DMA Name	Area (sq ft)
DMA7	2,059
DMA2	464
DMA4	987
DMA5	279
DMA6	140
DMA8	60
DMA9	437

III. Areas Draining to Self-Retaining Areas

DMA Name	Area (sq ft)	Surface Type	Runoff Factor	Product (Area x Runoff Factor) [A]	Receiving Self Retaining DMA	Receiving Self-Retaing DMA Area (sq ft) [B]	Ratio [A]/[B]
DMA1	65.4	Concrete or Asphalt	1.0	65.4	DMA2	464	0.14
DMA3	18	Concrete or Asphalt	1.0	18.0	DMA4	987	0.02
DMA10	514.7	Concrete or Asphalt	1.0	514.7	DMA9	437	1.18
DMA11	100.1	Concrete or Asphalt	1.0	100.1	DMA7	2,059	0.05
DMA13	3796	Conventional Roof	1.0	3,796.0	DMA7	2,059	1.84

IV. Areas Draining to IMPs

IMP Name: IMP1
IMP Type: Bioretention Facility
Soil Group: IMP1

DMA Name	Area (sq ft)	Post Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing			
DMA12	24,809	Concrete or Asphalt	1.00	24,809	IMP Sizing Factor	Rain Adjustment Factor	Minimum Area or Volume	Proposed Area or Volume
Total				24,809	0.040	1.000	992	1,155
				Area				

Report generated on 2/3/2016 12:00:00 AM by the Contra Costa Clean Water Program IMP Sizing Tool software (version 1.3.1.0).