



STAFF REPORT

Date: May 9, 2017
To: Bryan Montgomery, City Manager
From: Joshua McMurray, Planning Manager

Approved and Forwarded to City Council:


Bryan Montgomery, City Manager

SUBJECT: **Laurel Plaza Mini-Mart and Gas Station – An application requesting approval of a Conditional Use Permit (CUP 04-17) and Design Review (DR 03-17) for approval of a new 3,819 square foot convenience store, a fueling island with 6 multiple product dispensers under a new 55 foot by 88 foot fuel island canopy and a new 25 foot by 80 foot car wash tunnel with outdoor vacuums. The 1.28-acre project site is located within the existing Laurel Plaza shopping center and is designated Commercial in the Oakley 2020 General Plan and zoned Retail Business (RB). The Project is located at the northwest corner of Laurel Road and O'Hara Avenue (APN: 035-510-002)**

Summary and Recommendation

This is a request by Keylock Enterprises requesting approval of a Conditional Use Permit (CUP 04-17) and Design Review (DR 03-17) for approval of a new 3,819 square foot convenience store, a fueling island with 6 multiple product dispensers under a new 55 foot by 88 foot fuel island canopy and a new 25 foot by 80 foot car wash tunnel with outdoor vacuums. The 1.28-acre project site is located within the existing Laurel Plaza shopping center and is designated Commercial in the Oakley 2020 General Plan and zoned Retail Business (RB). The Project is located at the northwest corner of Laurel Road and O'Hara Avenue (APN: 035-510-002).

Staff recommends the City Council adopt the Resolution approving Conditional Use Permit (CUP 04-17) and Design Review (DR 03-17) to establish and construct a gasoline service station use on a 1.28-acre site located at the northwest corner of Laurel Road and O'Hara Avenue (APN 035-510-002), as conditioned.

Background

The Laurel Plaza shopping center was first approved by the City Council on March 11, 2008 through the approval of Resolution No. 24-08. The approval included the following: 1) Rezoning the property from Neighborhood Business to Retail Business, 2) a Tentative Map to subdivide the 7.01-acre site into 5 commercial lots, 3) a Conditional Use Permit for a Rite Aid with a drive-through, and 4) a Development Plan for the Rite Aid with a drive-through. Subsequent to that approval, the Planning Commission approved Resolution No. 05-08 on April 21, 2008 which outlined the development of the remaining parcels within the center to include a bank, grocery store, drive-thru and retail pad buildings. The site was developed

with all off and on site infrastructure when the first building housing the BAC Community Bank was constructed on the most western parcel of the site.

Since the shopping center was developed, the Rite Aid portion of the project never was constructed. The City was reviewing plans for a Fresh and Easy grocery store on the site to occupy the grocery component of the project, but those permits were never finalized. The site has remained in its current state and with the proposed project, the City is now seeing some activity within this center that should continue with the development of the remaining parcels.

General Plan and Zoning

In 2002 the site was designated "Commercial" in the Oakley 2020 General Plan. The "Commercial" designation allows for a broad range of commercial uses. The project site is zoned Retail Business (RB). The RB District is compatible with the "Commercial" General Plan Land Use designation. The proposed "Gasoline Service Station" use is permitted in the RB District with the approval of a Conditional Use Permit.

Existing Conditions and Surrounding Land Uses

The approximately 1.28-acre project site is located on the northwest corner of Laurel Road and O'Hara Avenue. The site is part of a larger 7.01-acre Laurel Plaza commercial shopping center. The current site is improved with a bank, parking lot and drive aisles, on-site landscaping, frontage improvements along Laurel Road and O'Hara Avenue and several graded pad areas for future commercial development. The site is located on a main City arterial, Laurel Road, and is adjacent to residential neighborhoods to the north and west. The properties to the east and southeast, across O'Hara Avenue, are vacant and used as a vineyard respectively. The property to the south, across Laurel Road, is vacant. All three properties to the east, southeast and south are designated and zoned to allow for commercial land use. Figure 1 and 2 on the following page show a street view of the project site and an aerial view of the site respectively.

Figure 1. Street View of Project Site



Figure 2. Aerial of Project Site and Adjacent Properties



Project Description

Proposed Conditional Use Permit

The proposed use is defined as "Gasoline Service Station", which is allowed in the Retail Business (RB) District with the approval of a Conditional Use Permit. The purpose of a Conditional Use Permit is to allow for uses that are not allowed by right, and to ensure, through conditions, that the proposed land use is compatible with the surrounding land uses in the neighborhood per Oakley Municipal Code Section 9.1.1602.

Proposed Design Review

The Design Review Ordinance has different levels of Design Review procedures for review and approval of a Design Review Permit. Oakley Municipal Code section 9.1.1604(c)(2)(i) requires that any new commercial structure be heard and approved by the Planning Commission¹. The proposed new development fits the criteria above and requires Design Review.

The proposed design review covers all of the physical development of the site, such as building siting, layout, architecture, colors and materials, landscaping, lighting, and parking. The proposed project involves full development of an approximately 1.28-acre site with a proposed Chevron convenience store and gas station. The site, as discussed previously, is part of a larger commercial center that is currently improved and has several remaining pad spaces left for future development. This project is proposed on a portion of a vacant pad where a Rite Aid was previously approved and anticipated. The Rite Aid never was constructed and the pad has been vacant for several years.

Access to the site will be from two new 2-way driveway locations that will have right-in/right-out movement with one proposed on the Laurel Road frontage and one on the O'Hara Avenue frontage. Dedicated off-street parking is provided in 11 spaces (one ADA accessible) around the south and north areas of the convenience store and 12 fueling spots underneath the canopy.

Figures 3 through 5 on the following pages highlight the project elevations including the gas canopy.

¹ City Council acts as the Planning Commission per Ordinance No. 06-09

Figure 3. South Elevation (looking North from Laurel Road)



Figure 4. West Elevation (carwash tunnel with convenience store behind)

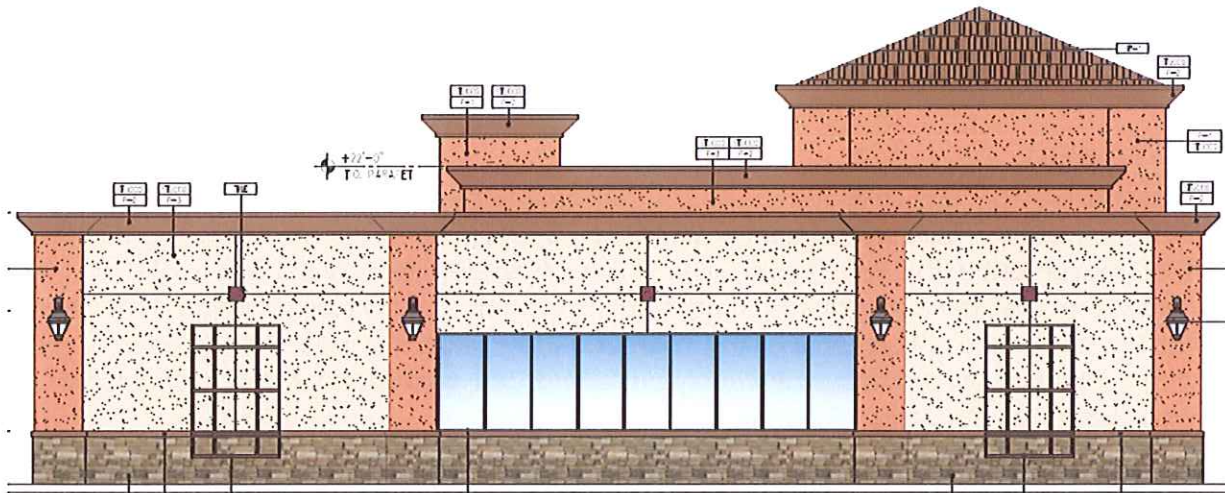
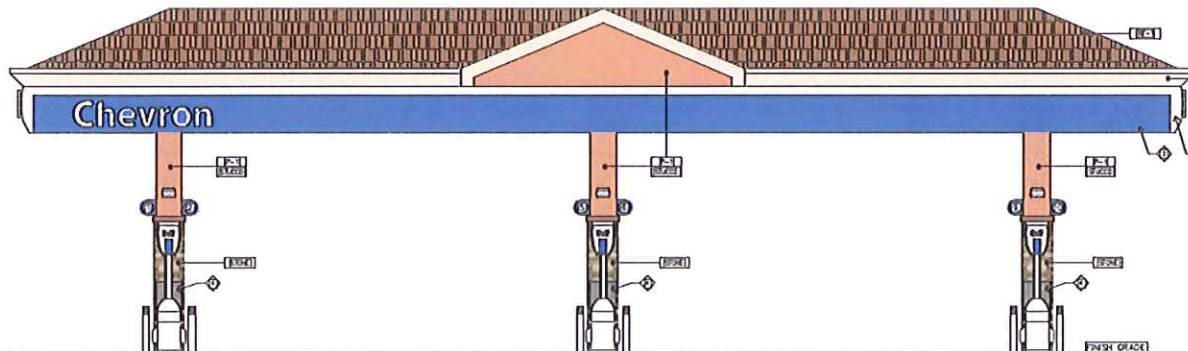


Figure 5. South Elevation (gas canopy looking North from Laurel Road)



Analysis

Conditional Use Permit

The Conditional Use Permit (CUP) is required for the gasoline service station. The project is compatible with the surrounding areas in that there are no conflicts with adjacent land uses. The project is proposed within an existing commercial center and is a typical use associated with multi-use commercial centers.

In terms of the convenience store, Staff has added several conditions of approval that deal with alcohol sales. Specifically there are conditions that regulate the hours alcohol may be sold, a security plan, the type of alcohol that can be sold (beer and wine only), window signage and other applicable conditions that make the overall use compatible with the surrounding area. Like most gasoline service stations, the gas pumps and convenience store are proposed to operate on a 24-hour a day basis while the sale of beer and wine is limited from the hours of 6:00 AM to 2:00 AM. These conditions are very similar to the conditions placed on other gasoline service stations that have a convenience store that sells alcohol.

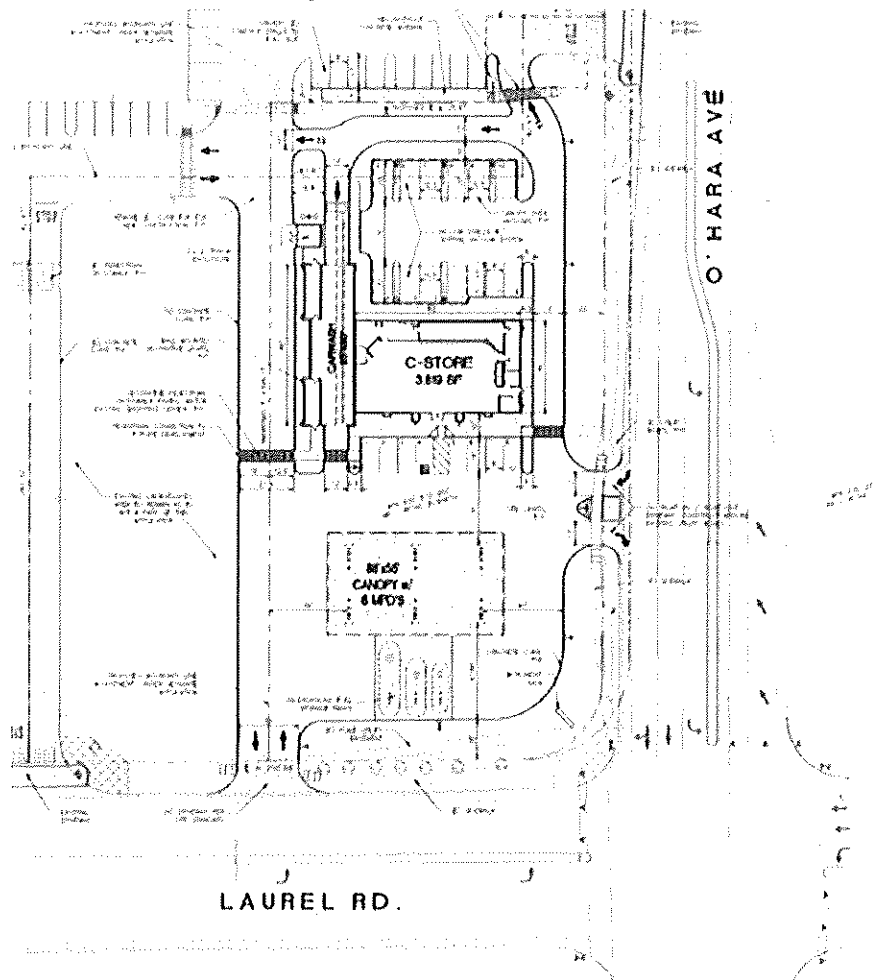
Design Review

Circulation/Parking: The project is proposing two driveways, one off Laurel Road and one off O'Hara Avenue. The Laurel Road driveway is 30 feet in width and allows for right-in and right-out movement onto Laurel Road. The O'Hara Avenue driveway uses two 12 foot driveways that also have a right-in and right-out movement onto O'Hara Avenue. The two 12 foot driveways are split by an existing in ground utility vault that will not be relocated. The existing center has two additional driveway entrances on Laurel Road and one additional driveway entrance off O'Hara Avenue.

The project is proposing to construct a total of 11 parking spaces (one ADA accessible) around the south and north areas of the convenience store and 12 fueling spots underneath the canopy. The propose project meets all of the code requirements in terms of parking and circulation.

Figure 6. Site Plan

Building/Site Design: The site plan within Attachment 3 of this report shows how the proposed project is laid out on the site. The 88' x 55' canopy with 6 Multi Product Dispensers is located near the southeast corner of the site. The canopy has been upgraded over the prototypical canopy to include the use of concrete tile roofing, stucco and stone veneer. The convenience store is located north of the gas canopy and uses the same materials as discussed before. The building uses varying roof parapet heights as well as building wall articulation to provide for a high quality building exterior. The car wash tunnel is located on the west side of the building, and runs north to south. There is a dedicated vacuum area located north of the convenience store with ten dedicated spaces that are covered with a canopy. Figure 6, to the right, shows the site plan.



The convenience store features a tower element just right of center of the building frontage when facing south. This tower element provides height and defines the entry to the building. The applicant has provided many enhanced materials that are shown on the applicant's plans. The building will use a base stucco exterior, with extensive ledgestone accents along the base of the building and at the building corners. The parapets use an enhanced parapet cap along with a varying roof line to provide interest to the building's exterior. Several decorative steel trellis elements have been shown in specific areas of the building to reduce the overall look of blank wall expanses. Lastly, wall scoring and tile inlays into the stucco have been placed in strategic areas to further break up the wall sections and provide for a more interesting facade.

The Laurel Road and O'Hara Avenue frontage improvements were completed when the center was first constructed several years ago. It should be noted that the final design does not include parking spaces that would point cars towards Laurel Road or O'Hara Avenue when parked. A majority of the parking areas are screened from view.

There are several conditions placed within the resolution that require further information to be submitted like detailed landscape plans, and information about the trash enclosures and other site improvements prior to them being constructed. The building and site improvements have been reviewed and they do comply with both the development regulations and the spirit and intent of the Commercial and Industrial Design Guidelines. Staff has worked with the applicant to ensure that an adequate amount of landscaping, both bushes and plantings, are used along the project frontage to further enhance the overall look of the project frontage.

With adoption of the proposed resolution for the Design Review approval, as conditioned, the project will comply with the Commercial and Industrial Guidelines.

Environmental Review

Noise: The proposed project is located near residential uses, mainly along the northern property line of the shopping center, not the project site. At the request of City Staff, the applicant submitted a Noise Assessment (Bollard Acoustical Consultants, Inc.) that assesses the noise levels of the car wash tunnel and the outdoor vacuums. The Oakley 2020 General Plan uses Table 9-1 for "Noise Level Performance Standards for New Projects Affected by or Including Non-Transportation Noise Sources."

The noise report, although highly technical in nature, does indicate that the project is in compliance with Table 9-1. The noise report included much of the details, but the noise report does indicate that the project as currently designed will comply with the noise requirements of the General Plan.

Traffic Letter Report: The project applicant had Kimley-Horn (traffic consultants) analyze the potential traffic impacts both on and offsite that could result as a result of the proposed project. The traffic analysis was reviewed and approved by the Public Works and Engineering Department. The traffic analysis concluded that there would be no significant transportation impacts according to established standards and no off-site traffic or transportation mitigations would be required as a result of the project compared to the previously approved Laurel Plaza shopping center project.

Since there is no new mitigation required for this project, the project has been deemed to be within the scope of the previously adopted Mitigated Negative Declaration and the Addendum to the Mitigated Negative Declaration (SCH # 2008012068). No additional environmental review is necessary.

Citizen Planning Advisor Comments

The Oakley Citizen Planning Advisors received copies of the Applicant's Plans via email on March 10, 2017. Per City Council Resolution 15-14, which established the Citizen Planning Advisors, Staff has attached the comments received from the Citizen Planning Advisors to the Staff Report. Although the process does not necessarily have Staff respond directly to each of the individual comments, Staff did review them and many of the comments are

addressed in this report's "Analysis" section or the conditions of approval, and Staff is prepared to address them at the City Council's discretion.

Findings

Draft findings for the Conditional Use Permit and Design Review can be found in the proposed resolution.

Recommendation

Staff recommends the City Council adopt the Resolution approving Conditional Use Permit (CUP 04-17) and Design Review (DR 03-17) to establish and construct a gasoline service station use on a 1.28-acre site located at the northwest corner of laurel Road and O'Hara Avenue (APN 035-510-002), as conditioned.

Attachments

1. Vicinity Map
2. Public Hearing Notice
3. Applicant's Plans
4. Proposed Resolution
5. Citizen Planning Advisor Comments

Laurel Plaza Mini-Mart and Gas Station
Conditional Use Permit (CUP 04-17) and Design Review (DR 03-17)
Vicinity Map
(APN: 035-510-002)





City of Oakley
3231 Main Street
Oakley, CA 94561
www.oakleyinfo.com

NOTICE OF PUBLIC HEARING

Notice is hereby given that on **May 9, 2017** at 6:30 p.m., or as soon thereafter as the matter may be heard, the City Council of the City of Oakley will hold a Public Hearing at the Council Chambers located at 3231 Main Street, Oakley, CA 94561 for the purposes of considering an application for the **Laurel Plaza Mini-Mart and Gas Station Conditional Use Permit (CUP 04-17) and Design Review (DR 03-17)**.

Project Name: Laurel Plaza Mini-Mart and Gas Station Conditional Use Permit (CUP 04-17) and Design Review (DR 03-17)

Project Location: Northwest corner of Laurel Road and O'Hara Avenue, APN: 035-510-002

Applicant: Keystone Enterprises, Ross Hillesheim, 1995 Oak Park Boulevard, Pleasant Hill, CA 94523

Request: The applicant is requesting approval of a Conditional Use Permit (CUP 04-17) and Design Review (DR 03-17) for a new 3,819 square foot convenience store, a fueling island with 6 multiple product dispensers under a new 55 foot by 88 foot fuel island canopy and a new 25 foot by 80 foot car wash tunnel with outdoor vacuums. The project site is located within the existing Laurel Plaza shopping center and is designated Commercial in the Oakley 2020 General Plan and zoned Retail Business (RB).

CEQA: The project has been deemed to be within the scope of the previously adopted Mitigated Negative Declaration and the Addendum for the Laurel Plaza project. No additional environmental review is necessary.

How to Review: The Staff Report and its attachments will be available for public review, on or before May 4, 2017 at City Hall, 3231 Main Street, Oakley, CA 94561 or online at www.ci.oakley.ca.us/agendas-minutes-videos-archive/ by navigating to the May 9, 2017 agenda and clicking the project title link. (Note: City Hall is closed on the 1st and 3rd Fridays of each month).

Interested persons are invited to submit written comments prior to and may testify at the public hearing. **Written comments may be submitted to Joshua McMurray, Planning Manager at the City of Oakley, 3231 Main Street, Oakley, CA 94561 or by email to mcmurray@ci.oakley.ca.us.**

NOTICE IS ALSO GIVEN pursuant to Government Code Section 65009(b) that, if this matter is subsequently challenged in Court by you or others, you may be limited to raising only those issues you or someone else has raised at a Public Hearing described in this notice or in written correspondence delivered to the City of Oakley City Clerk at, or prior to, the Public Hearing.



PROJECT DATA

APN: 035-510-002

ACREAGE:
 EXISTING PARCEL BEFORE BOUNDARY LINE ADJUSTMENT: 1.97 AC (85,908 S.F.)
 PROPOSED PARCEL AFTER BOUNDARY LINE ADJUSTMENT: 1.28 AC (55,790 S.F.)

APN: 035-510-002

CONVENIENCE STORE SQUARE FOOTAGE: 3,819 S.F.

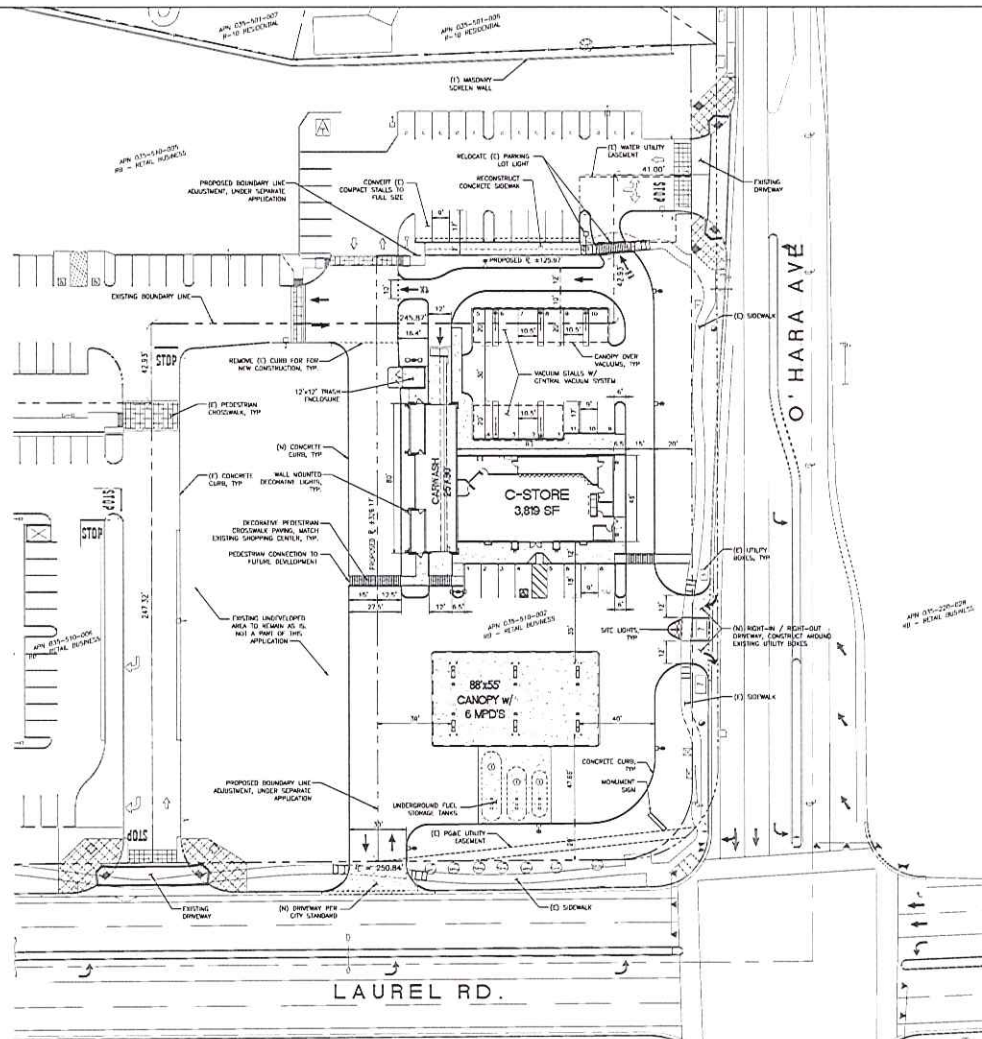
CARWASH SQUARE FOOTAGE: 4,759 S.F.

FUELING CANOPY SQUARE FOOTAGE: 4,840 S.F.

SITE DENSITY: 13,418 / 55,790 = 24%

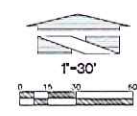
LANDSCAPE AREA: 11,983 S.F.

LANDSCAPE COVERAGE: 11,983 / 55,790 = 21.5%



PRELIMINARY SITE PLAN

NOTE:
 ALL IMPROVEMENTS SHOWN
 SHADED ARE EXISTING TO REMAIN
 UNLESS NOTED OTHERWISE

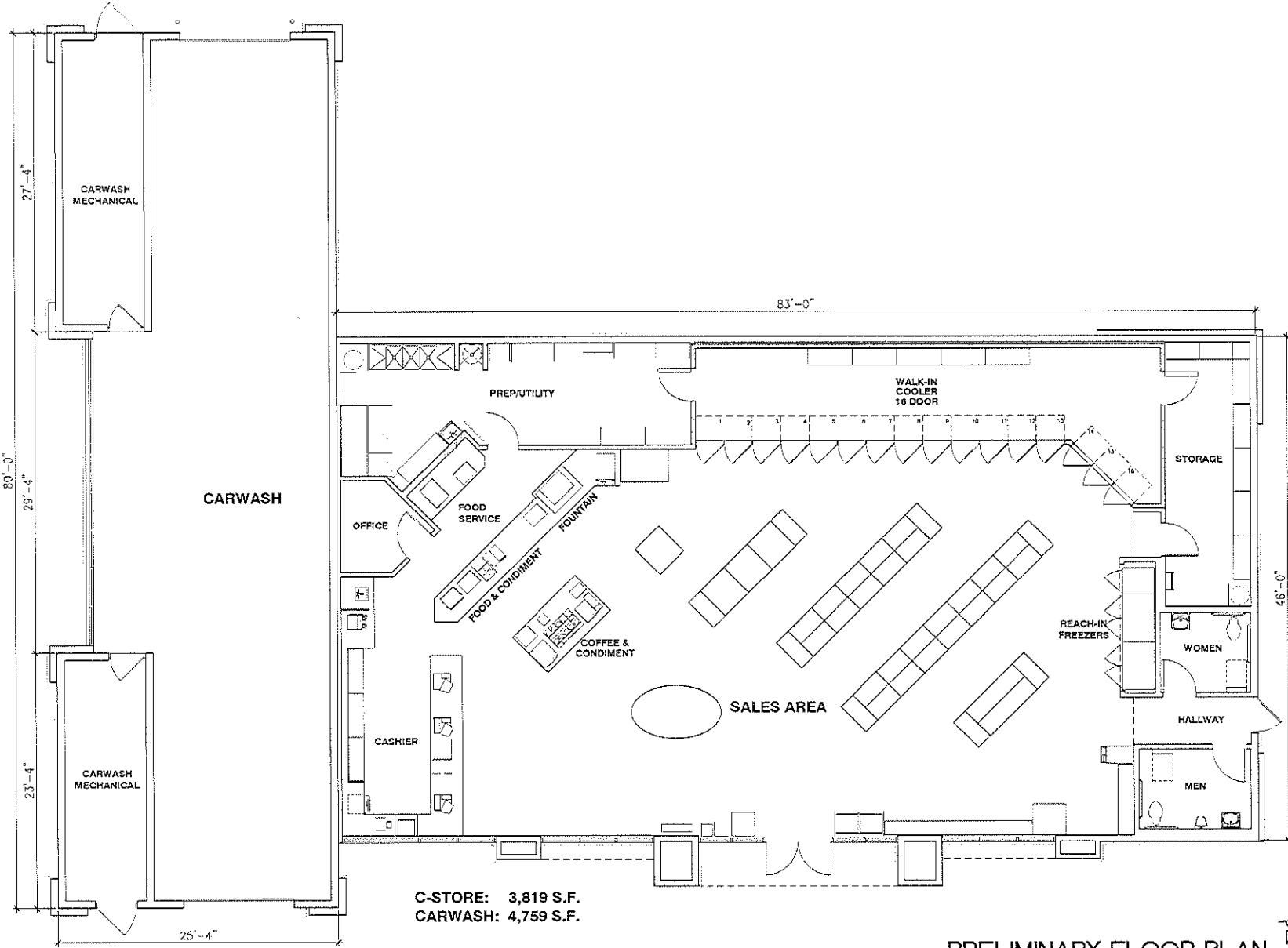


PRELIMINARY SITE PLAN
 NW CORNER LAUREL RD + OHARA AVE.
 OAKLEY, CA 94661

KEYLOCK ENTERPRISES
 1995 OAK PARK BLVD.
 PLEASANT HILL, CA 94523

Scale: Horizontal 1"=30'
 Vertical 1"=10'
 Date: 08/27/17
 Drawn by: [blank]
 Checked by: [blank]
 Created by: [blank]
 Approved by: [blank]
 6315 7700 AVENUE SOUTH
 SUITE 100
 RENO, NV 89521
 (775) 785-4222
 (775) 785-4222 FAX
 (775) 785-4222 FAX
 WWW.BAGHAUSEN.COM
 BOUNDARY SURVEYING, ENVIRONMENTAL SERVICES

18230
 PS-1



C-STORE: 3,819 S.F.
 CARWASH: 4,759 S.F.

PRELIMINARY FLOOR PLAN



NO.	REV.	DATE	BY	CHKD.	APP'D.
1066					
PRELIMINARY FLOOR PLAN NW CORNER LAUREL RD + OHARA AVE OAKLEY, CA 94661					

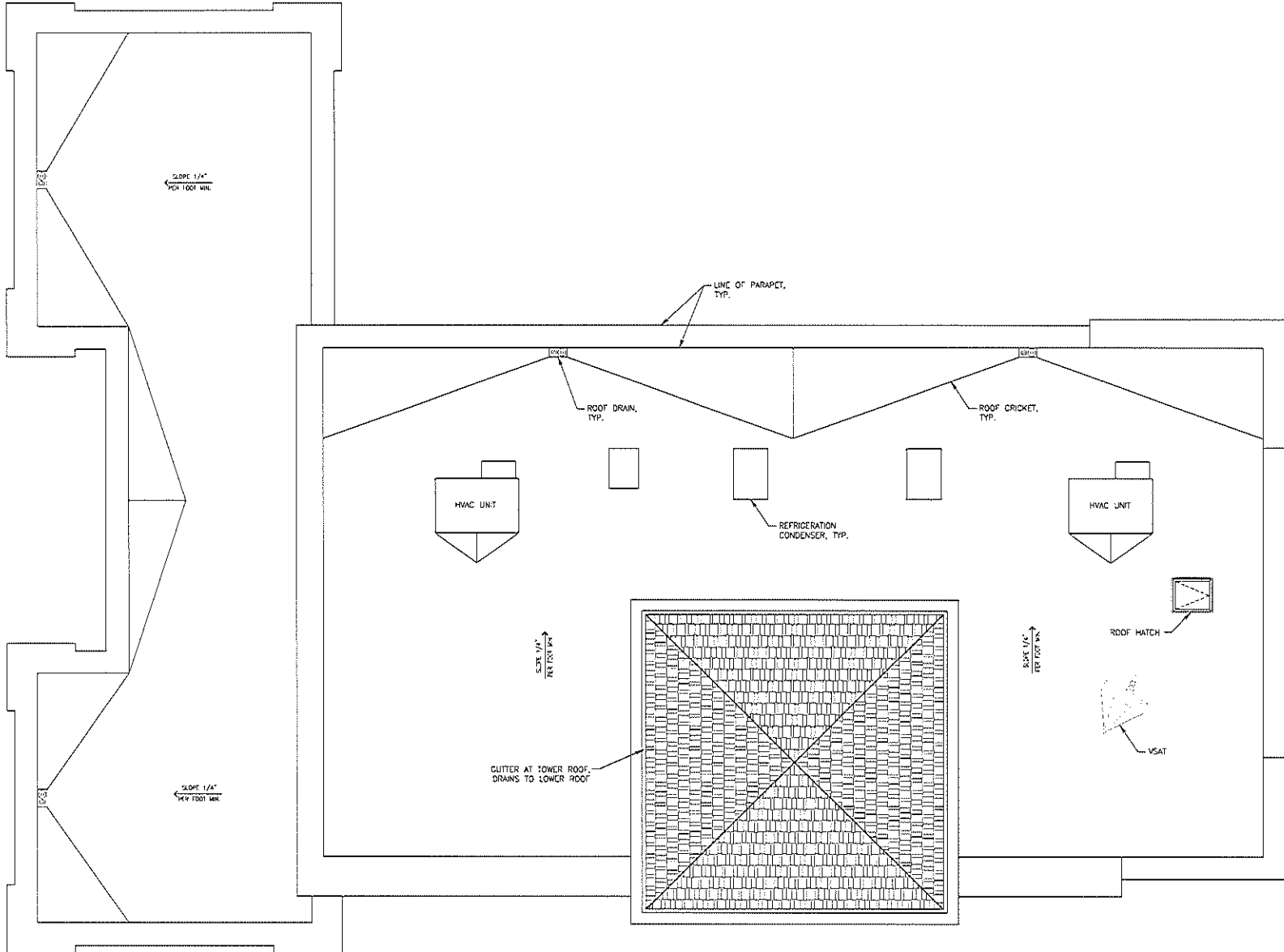
For **KEYLOCK ENTERPRISES**
 1986 OAK PARK BLVD.
 PLEASANT HILL, CA 94523

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DESIGNED BY	
DRAWN BY	
CHECKED BY	
APPROVED BY	

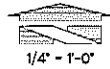
1815 TAND AVENUE SUITE 200
 OAKLAND, CA 94612
 (415) 351-8222
 (415) 351-8782 FAX
 SALES@KEYLOCK.COM
 WWW.KEYLOCK.COM



PROJECT NO.	19230
DATE	11/17



PRELIMINARY ROOF PLAN



Revised	By	Date	Appr.
PRELIMINARY ROOF PLAN NW CORNER LAUREL RD + OHARA AVE. OAKLEY, CA 94661			

FOR **KEYLOCK ENTERPRISES**
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 PLEASANT HILL, CA 94523

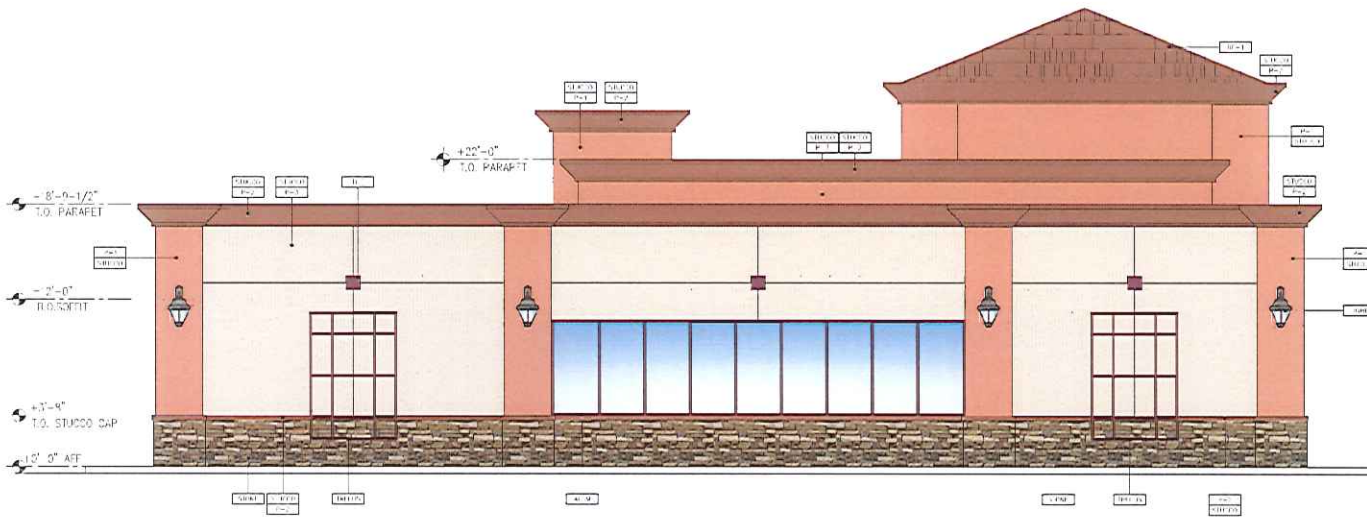
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 Vertical: 1/8" = 1'-0"

Prepared By	Checked By
Drawn By	Approved By

18215 3740 AVENUE SOUTH
 MENLO PARK, CA 94025
 (415) 351-6222
 (415) 351-8762 FAX
 C.S. BRADSHAW, INC. PLANNING
 5000 WOODLAND AVENUE, SUITE 200
 SAN FRANCISCO, CA 94134



Job No.	Sheet
18230	A12



WEST ELEVATION

COLOR LEGEND

- 1010 E-1977 COLOR #15 "VICTORIAN LARK"
- 1020 E-1977 COLOR #42 "RECREATION BROWN"
- 1030 S-1898 WALLBANK COLOR #51 "LARKER WARE"
- 1040 EXTRA WIDE COLOR SPEC "DOLLE WINE"

MATERIAL LEGEND

- 101000 4" CLEAR POLYURETHANE INSULATED GLASS UNITS (IGU) WITH 1/2" ALUMINUM FINISH, EXTERIOR FINISH "CASE FINISH"
- 101001 CARBON FIBER ALUMINUM VERTICAL FINISH
- 101002 CONCRETE TILE ROOFING, MFG. FEDERAL STYLE, AVAILABLE 300 SERIES, COLOR "SUNNY HARBOR"
- 101003 MANUFACTURED STONE VENEER, MFG. FEDERAL "INDIGO" QUARRY LEICESTER, COLOR "WILLOW"
- 101004 METAL TRUSS ROOFING, DARK HYPHEN
- 101005 1 1/4" X 1/2" ACCENT TILES, SALTER CORNER, 3447 COLOR "BURBANK"

LIGHTING LEGEND

- 101001 LED DOWNLIGHT, 4" ROUND, 1500LM, WARM WHITE, 3000K, 120V



SOUTH ELEVATION

PRELIMINARY EXT ELEVATIONS
 NW CORNER LAUREL RD + OHARA AVE.
 OAKLEY, CA 94961

For: KEYLOCK ENTERPRISES
 1995 OAK PARK BLVD.
 PLEASANT HILL, CA 94523

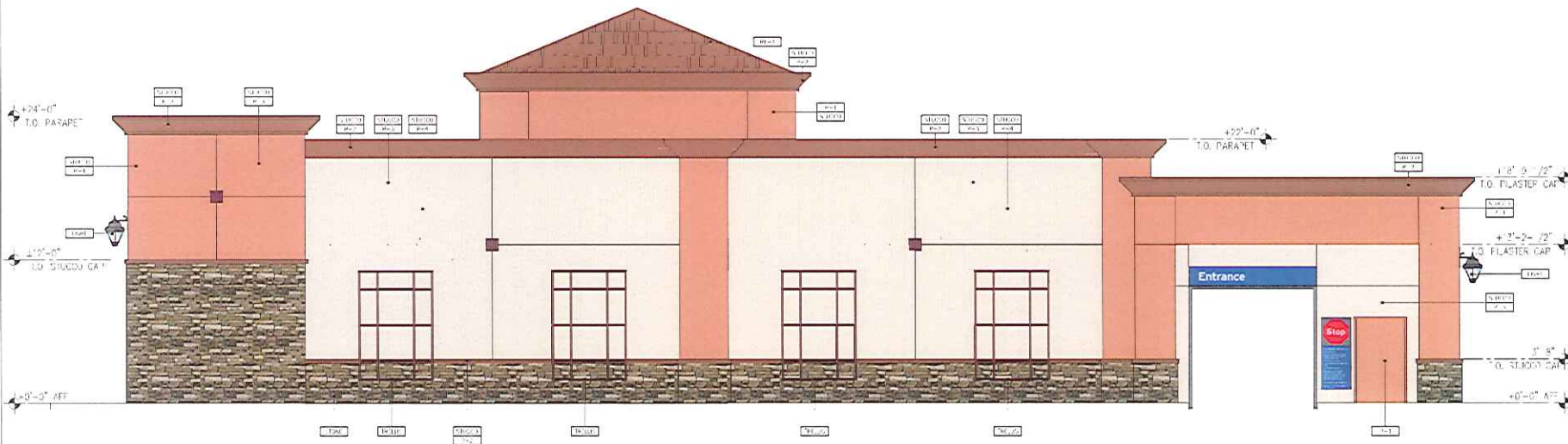
6315 7340 AVENUE SOUTH
 FORTY, CA 95032
 (415) 231-8742 FAX
 (415) 231-8742 FAX
 20+ YEARS OF ARCHITECTURAL SERVICES



18290
 A21



EAST ELEVATION



NORTH ELEVATION

COLOR LEGEND

- 101 6"V" COLOR 10 "VICTORIAN LACE"
- 102 6"V" COLOR 12 "SPECTRAL DESIGN"
- 103 6"V" COLOR 14 "CLASSICAL DESIGN"
- 104 EXTRA MILE COLOR SPEC "EXTRA MILE"

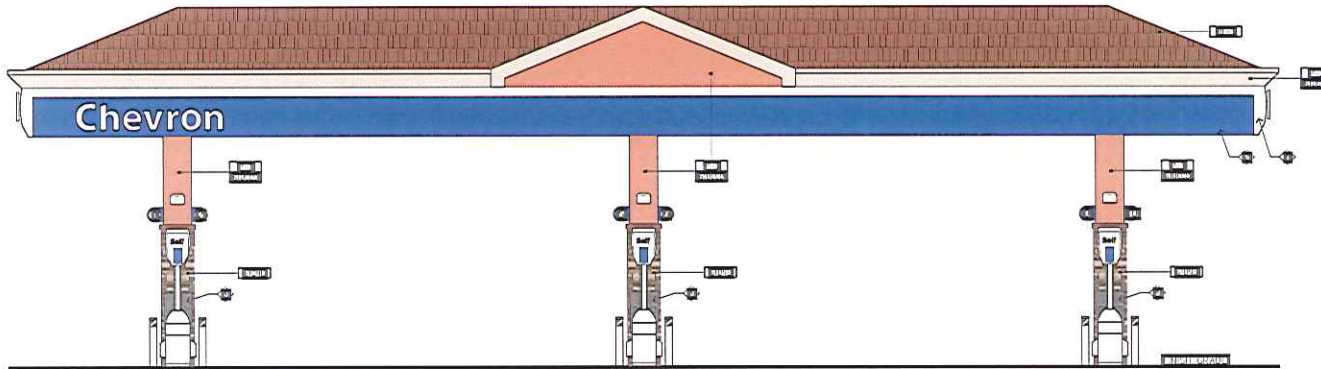
MATERIAL LEGEND

- 10000 4" CURB JOIST (SHALL BE 4" M.S. SPACERS) END TO END FOR SAND FILL
- 10001 DARK IRON ALUMINUM CORNERPOST
- 10002 CONCRETE TILT BEDDING M.S. IRON STUDS, GALVANNEA AND SINKS COLOR WHITE GRAY
- 10003 MANUFACTURED STONE VENEER M.S. IRON STUDS, COUNTRY LEGGINGS COLOR VARIOUS
- 10004 MCM 1"X1/2" 1/8" DIA. 1/2" HPSM
- 10005 1/2"X1/2" ACCENT TILL. BATTLE CORNING, GRAY COLOR BURGUNDY

LIGHTING LEGEND

- 10001 CIRCULAR WALL MOUNT LIGHT FIXTURE, WHITE AND CHROME Y 898

Title PRELIMINARY EXT ELEVATIONS NW CORNER LAUREL RD + OHARA AVE. OAKLEY, CA 94661	For KEYLOCK ENTERPRISES 1995 OAK PARK BLVD. PLEASANT HILL, CA 94523	Date 11/21/11
		Drawn by 11/21/11
Project No. 18230	Checked by 11/21/11	Scale 1/8"=1'-0"
Prepared by 11/21/11	Entered 11/21/11	Approved 11/21/11
8215 72ND AVENUE SOUTH FORT WORTH, TX 76126 (817) 551-1111 (817) 551-1111 FAX (817) 551-1111 WWW.BARHAUSEN.COM		
Job Number 18230	Sheet A22	



A SOUTH CANOPY ELEVATION
PROJECT: 17A-17-00

COLOR LEGEND

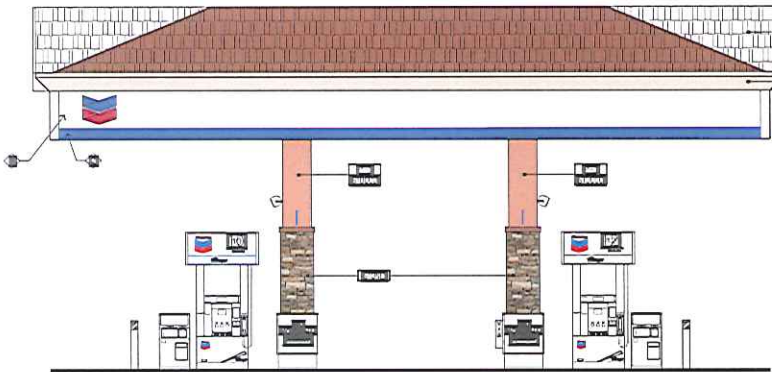
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COLOR LEGEND

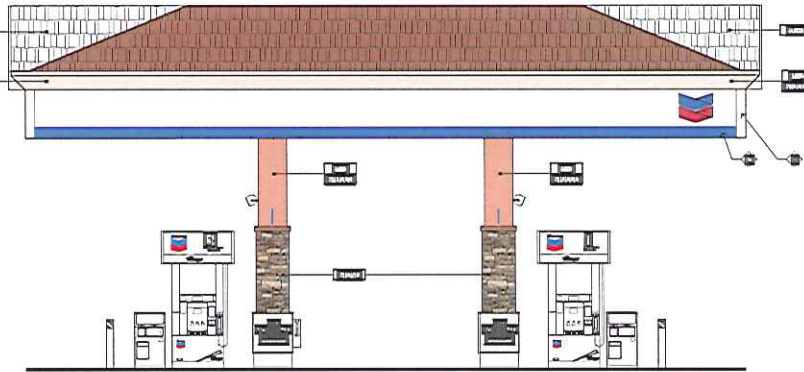
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6	ROOF	ASPH/FLT
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9	ROOF	ASPH/FLT
10	ROOF	ASPH/FLT

MATERIAL LEGEND

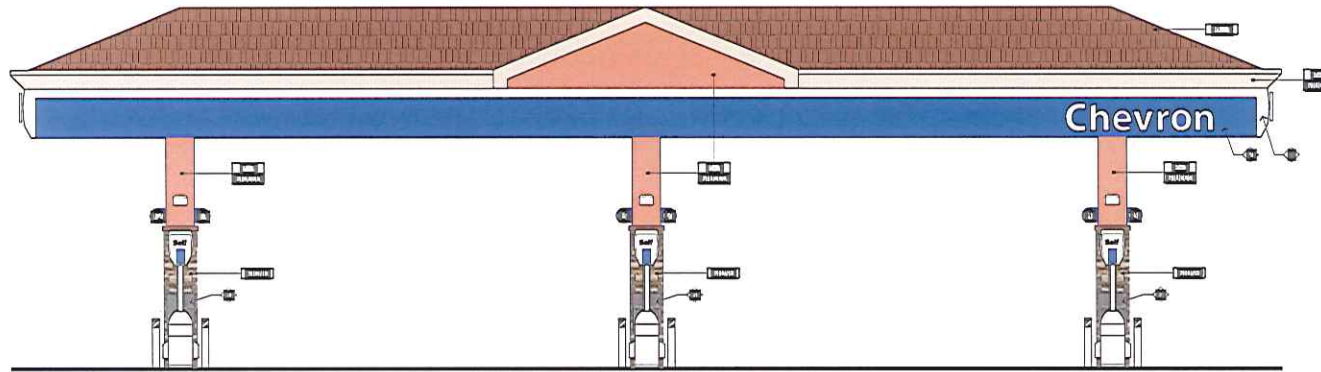
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6	ROOF	ASPH/FLT
7	ROOF	ASPH/FLT
8	ROOF	ASPH/FLT
9	ROOF	ASPH/FLT
10	ROOF	ASPH/FLT



B WEST CANOPY ELEVATION
PROJECT: 17A-17-00



C EAST CANOPY ELEVATION
PROJECT: 17A-17-00



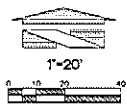
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PROJECT: 17A-17-00

PRELIMINARY EXTERIOR ELEVATIONS
NW CORNER PARKER TRIP OF HARA AVE
OAKLEY CA 94666

KEYLOCK ENTERPRISES
1995 GAR PARKER RD
PLEASANT HILLS CA 94623

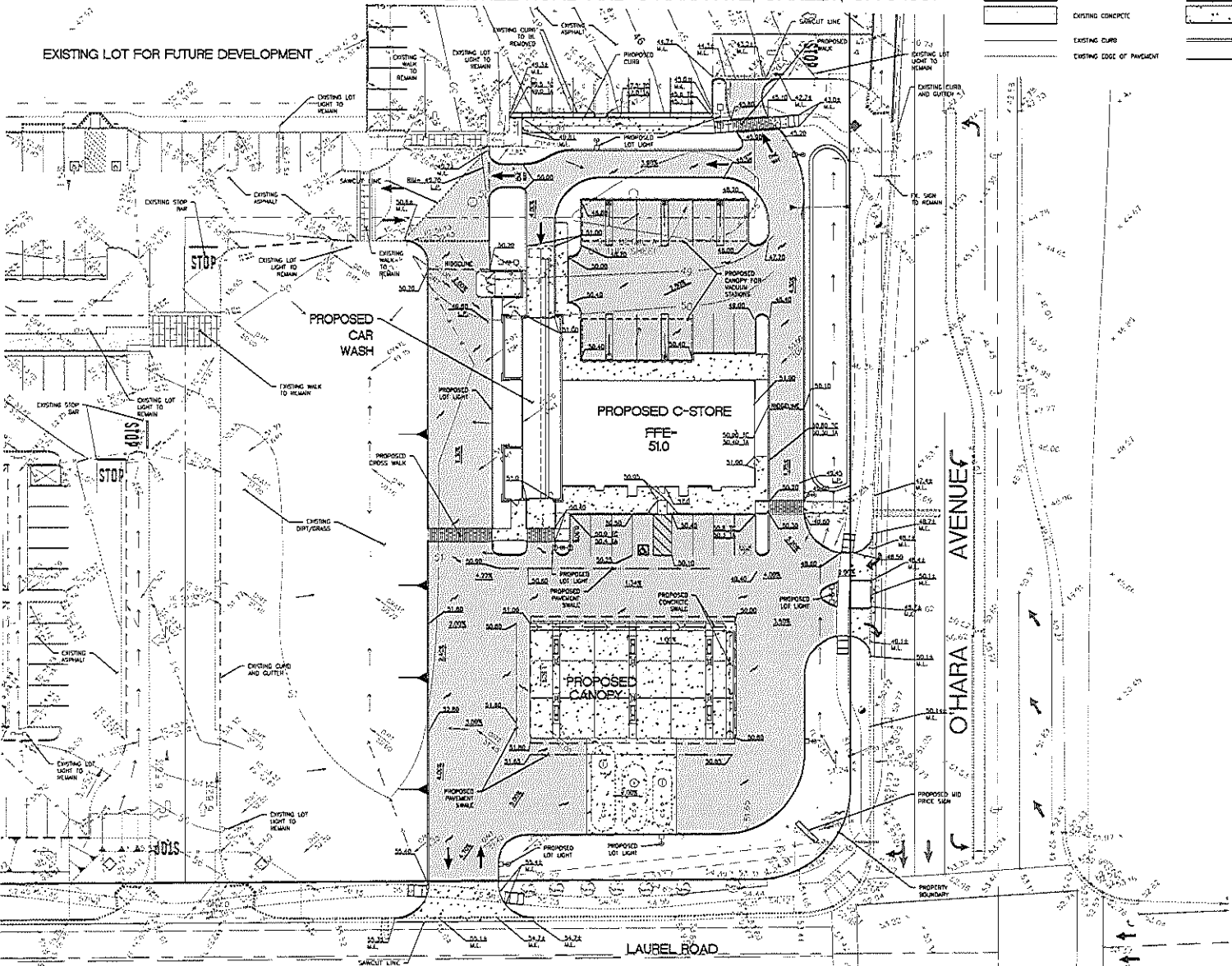
PROJECT: 17A-17-00
DATE: 08/20/2017
DRAWN BY: J. WILSON
CHECKED BY: J. WILSON
SCALE: AS SHOWN
SHEET: 17A-17-00-01
19230
CA-3E

PRELIMINARY GRADING PLAN
CHEVRON EXTRA MILE CARWASH FUEL FACILITY
LAUREL ROAD AND O'HARA AVE, OAKLEY, CA 94561



LEGEND

- EXISTING ASPHALT
- EXISTING CONCRETE
- EXISTING CURB
- EXISTING EDGE OF PAVEMENT
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED CONCRETE BARRIER CURB
- SAWCUT LINE



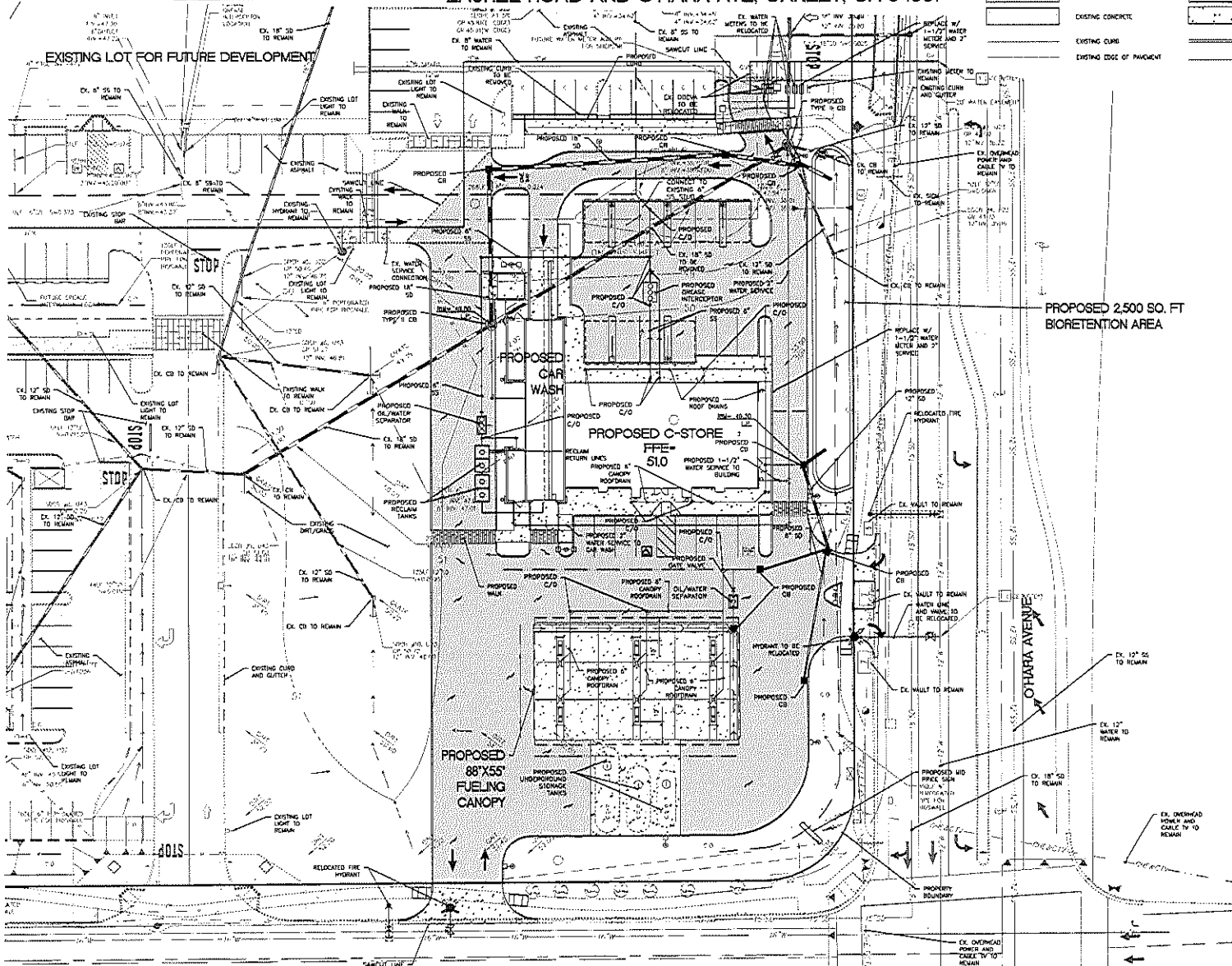
10230	18215 72ND AVENUE SOUTH FENI, CA 94532 TEL: (425) 251-8762 FAX (425) 251-8762 CIVIL ENGINEERING, LAND PLANNING, SURVEYING, ENVIRONMENTAL SERVICES	Scale: 1"=20'	18215 72ND AVENUE SOUTH FENI, CA 94532 TEL: (425) 251-8762 FAX (425) 251-8762 CIVIL ENGINEERING, LAND PLANNING, SURVEYING, ENVIRONMENTAL SERVICES	DATE: 11/20/07	PROJECT: PRELIMINARY GRADING PLAN LAUREL RD AND O'HARA AVE OAKLEY, CA 94561
10230	18215 72ND AVENUE SOUTH FENI, CA 94532 TEL: (425) 251-8762 FAX (425) 251-8762 CIVIL ENGINEERING, LAND PLANNING, SURVEYING, ENVIRONMENTAL SERVICES	Scale: 1"=20'	18215 72ND AVENUE SOUTH FENI, CA 94532 TEL: (425) 251-8762 FAX (425) 251-8762 CIVIL ENGINEERING, LAND PLANNING, SURVEYING, ENVIRONMENTAL SERVICES	DATE: 11/20/07	PROJECT: PRELIMINARY GRADING PLAN LAUREL RD AND O'HARA AVE OAKLEY, CA 94561



PRELIMINARY UTILITY PLAN
CHEVRON EXTRA MILE CARWASH FUEL FACILITY
LAUREL ROAD AND O'HARA AVE, OAKLEY, CA 94561

LEGEND

	EXISTING ASPHALT		PROPOSED ASPHALT
	EXISTING CONCRETE		PROPOSED CONCRETE
	EXISTING CURB		PROPOSED CONCRETE BARRIER CURB
	EXISTING EDGE OF PAVEMENT		SAWCUT LINE



PRELIMINARY UTILITY PLAN
 LAUREL RD AND O'HARA AVE
 OAKLEY, CA 94561

KEYLOCK ENTERPRISES
 1995 OAK PARK BLVD.
 PLEASANT HILL, CA 94523

Scale: 1/4" = 1'-0"
 Date: 11/20/11
 Drawn by: [Signature]
 Checked by: [Signature]
 Approved by: [Signature]

18215 72ND AVENUE SOUTH
 FENTON, WA 99332
 (509)531-8222 FAX
 (509)531-8182 FAX
 CIVIL ENGINEERING, LAND PLANNING,
 SURVEYING, ENVIRONMENTAL SERVICES



18230
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PRELIMINARY LANDSCAPE PLAN

CHEVRON EXTRA MILE CARWASH FUEL FACILITY

LAUREL ROAD AND O'HARA AVE, OAKLEY, CA 94561

LANDSCAPE PLANTING NOTES AND MATERIALS

SCOPE OF WORK
 FURNISH ALL MATERIAL, LABOR, EQUIPMENT AND RELATED ITEMS NECESSARY TO ACCOMPLISH THE TREATMENT AND PREPARATION OF SOIL, FRESH GRADING, PLACEMENT OF SPECIFIED PLANT MATERIALS, FERTILIZER, STAKING, MULCH, CLEAN-UP, DEBRIS REMOVAL, AND 90-DAY MAINTENANCE.

QUALIFICATIONS:
 LANDSCAPE CONTRACTOR TO BE SKILLED AND KNOWLEDGEABLE IN THE FIELD OF WORK. CONTRACTOR TO BE LICENSED TO PERFORM THE WORK SPECIFIED WITHIN THE PRESIDING JURISDICTION.

JOB CONDITIONS:
 IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE SITE AND REPORT ANY DISCREPANCIES TO THE OWNER OR THE OWNER'S REPRESENTATIVES. ALL PLANT MATERIAL AND FRESH GRASS ARE SUBJECT TO APPROVAL BY THE OWNER.

PROTECTION:
 DO NOT PLANT UNTIL OTHER CONSTRUCTION OPERATIONS WHICH CONFLICT HAVE BEEN COMPLETED. AN IRRIGATION SYSTEM IS TO BE INSTALLED. DO NOT PLANT UNTIL THE SYSTEM HAS BEEN TESTED AND APPROVED. HANDLE PLANTS WITH CARE - DO NOT DAMAGE OR BREAK ROOT SYSTEM, BARK, OR BRANCHES. REPAIR AND/OR REPLACE ITEMS DAMAGED AS A RESULT OF WORK OR WORK NOT IN COMPLIANCE WITH PLANS AND SPECIFICATIONS, AS DIRECTED BY OWNER AT NO ADDITIONAL COST.

GUARANTEE:
 GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE OF THE JOB BY OWNER.

90-DAY MAINTENANCE:
 CONTRACTOR TO PROVIDE OWNER WITH A SCHEDULE OF WORK AT TIME OF INITIAL PROJECT BID TO PROVIDE LANDSCAPE AND IRRIGATION MAINTENANCE FOR 90 DAYS FOLLOWING COMPLETION OF PROJECT (ACCEPTANCE) BY OWNER. WORK TO INCLUDE MAINTENANCE AS DESCRIBED BELOW, IN PLANTING AND IRRIGATION MAINTENANCE.

PLANT MATERIALS:
 PLANT MATERIALS TO BE GRADE NO. 1, SIZED IN ACCORDANCE WITH (ANAN) AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z60.1-1986). PLANT MATERIALS RECEIVED FROM THE NURSERY ONLY UPON AUTHORIZATION BY THE LANDSCAPE ARCHITECT. "B" INDICATES BALLED AND BURLAPPED, "CONT." INDICATES CONTAINER, "TB" INDICATES BARE ROOT, "CAL" INDICATES CALIBER AT 4" ABOVE SOIL LINE, "CAL" INDICATES GALLON.

- 1) SPECIFIED PLANT CANOPY SIZE OR CALIBER IS THE MINIMUM ACCEPTABLE CONTAINER OR BALL SIZE ESTABLISHED MINIMUM PLANT CONDITION TO BE PROVIDED.
- 2) QUALITY: PLANT MATERIAL TO COMPLY WITH STATE AND FEDERAL LAWS FOR DISEASE INSPECTION, PLANTS TO BE FULLY LIVE, VIGOROUS, WELL FORMED, WITH WELL DEVELOPED FIBER ROOT SYSTEMS. ROOT BALLS OF PLANTS TO BE SOLID AND FIRMLY HELD TOGETHER, SECURELY CONTAINED AND PROTECTED FROM INJURY AND PLANTS DETERMINED BY LANDSCAPE ARCHITECT TO HAVE BEEN DAMAGED, HAVE DEFICIENCIES OF STEM, BRANCHES, OR ROOTS, LACK SYMMETRY, HAVE MULTIPLE LEADERS OR "T" BRANCHES LESS THAN 30 DEGREES IN TREES, OR DO NOT MEET SIZE OR ANSI STANDARDS MUST BE REJECTED.
- 3) SUBSTITUTION: PLANT MATERIAL TO BE FROM A SINGLE NURSERY SOURCE FOR EACH SPECIFIED SPECIES. ALTERNATE SOURCES TO BE THOSE LOCATED IN THE SAME REGION AS THE JOB SITE.
- 4) SUBSTITUTION: NO SUBSTITUTION OF PLANT MATERIAL, SPECIES OR VARIETY, WILL BE PERMITTED UNLESS WRITTEN EVIDENCE IS SUBMITTED TO THE OWNER FROM TWO QUALIFIED PLANT INDUSTRY EXPERTS. SUBSTITUTIONS WHICH ARE PERMITTED TO BE IN WRITING FROM THE OWNER AND LANDSCAPE ARCHITECT, THE SPECIFIED SIZE, SPECIES AND NEAREST VARIETY, AS APPROVED, TO BE FURNISHED.

SOIL PREPARATION:
 ARE SPECIFIC TO THIS SITE. THE FOLLOWING TOPSOIL, AMENDMENT, AND BACKFILL ARE RECOMMENDED FOR ALL LANDSCAPE AREAS.

- 1) TOPSOIL: AS A MINIMUM SUPPLY TOPSOIL CONSISTING OF LOAM SOIL WITH 3 TO 7 PERCENT ORGANIC MATTER. TOPSOIL TO BE AMENDED WITH SPECIFIC AMENDMENTS IN C1), 2), 3), AND 4), BELOW, AND BE BLENDED TO SPECIFIED DEPTH IN C1), BELOW, LOAM TO CORRESPOND TO FIELD METHOD OF DETERMINING SOIL TEXTURE CLASSES FOR LOAM AND VILL LOAM, U.S. SOIL CONSERVATION SERVICE. PROVIDE LANDSCAPE ARCHITECT THE TOPSOIL SUPPLY AND SAMPLE OF TOPSOIL. CONTRACTOR IS RESPONSIBLE FOR ANY NECESSARY WEED CONTROL RESULTING FROM CONTAMINATED OFF-SITE SOURCES.
- 2) BOREHOLE TOPSOIL MIX BY L.H. VOSS, OR APPROVED EQUAL, PHONE: 925-545-8920 INSTALLED TO DEPTH AS SHOWN IN CIVIL ENGINEERING SET. LANDSCAPE CONTRACTOR TO PROVIDE SOIL SPECIFICATION AND SOURCE TO LANDSCAPE ARCHITECT PRIOR TO ORDERING AND INSTALLATION.
- 3) NATIVE SURFACE SOIL INCLUDING STOCKPILED TOPSOIL: SURFACE SOIL ON-SITE MAY MEET TEXTURAL CLASSIFICATION AS NOTED IN A), ABOVE. PROVIDE AMENDMENTS IN C1), 2), 3), AND 4), BELOW, AND EVENLY BLEND AMENDMENTS TO SPECIFIED DEPTH.
- 4) AMENDMENT:
 - 1) TOPSOIL FOR PLANTING SHALL CONTAIN A MINIMUM OF 10 PERCENT ORGANIC MATERIAL BY VOLUME.
 - 2) ORGANIC COMPOST: USE BULK NITROGEN FORMED GROUND FIBER BARK SHALF SATISFY ORGANIC REQUIREMENTS. COMPOST SHALL BE FROM NON-FARM ANIMAL SOURCES, NOT FROM SOURCES CONTAINING HORMONAL OR CHEMICAL PRODUCTS.
 - 3) FERTILIZER: NUTRIENT FERTILIZER SHALL BE 10-20-10. MAINTENANCE FERTILIZER SHALL BE 21-0-0. NUTRIENT TABLETS SHALL BE 20-10-5 BY AGRIFORM INTERNATIONAL CHEMICALS, INC. OR EQUIVALENT.
- 5) SOIL AMENDMENTS:

4 SOIL SOIL	5 POUNDS PER 1,000 SF
OPPYM	25 POUNDS PER 1,000 SF
FERTILIZER (10-20-10)	10 POUNDS PER 1,000 SF
MANGANESE SULFATE	8 OUNCES PER 1,000 SF
ORGANIC COMPOST (C1) LATER	8 CUBIC YARDS PER 1,000 SF
NITROFORM (10-20-10)	18 POUNDS PER 1,000 SF

NOTE: IN ORDER TO WORK UNIFORMLY APPLY THE SMALL AMOUNT OF MANGANESE SULFATE REQUIRED, IT SHOULD BE DISSOLVED IN AN APPROPRIATE AMOUNT OF WATER AND SPRAYED TO THE SOIL SURFACE PRIOR TO THE MIXING PROCEDURE.
- 6) PLANTING BACKFILL: BACKFILL MIX FOR TREES, SHRUBS, AND GROUNDCOVERS SHALL BE PREPARED AND COMPOSED OF:

SOIL	0.8 CUBIC YARDS
ORGANIC AMENDMENT	0.2 CUBIC YARDS
FERTILIZER 20-0-0	1.0 POUND
CALCIUM CARBONATE LIMESTONE	

CONTRACTOR SIZE	# OF TABLETS
1/4" DIA	1 5 GRAM
1/2" DIA	3 21 GRAM
3/4" DIA	18 21 GRAM
1" DIA	32 21 GRAM

7) SOIL ANALYSIS: SOIL AMENDMENTS ARE BASED ON SOIL TEST AND ANALYSIS FROM NORTHERN LIMITS ANALYTICAL & CONSULTING INC., SAMPLE TAKEN FROM THE SITE OCTOBER 31, 2008 AND ANALYSIS AND RECOMMENDATIONS DATED SEPTEMBER 11, 2009. JOB NUMBER 00014. LAB NUMBER 00-248-0004.

8) SOIL PREPARATION: REMOVE FROM SITE ALL WEEDS AND DEBRIS WITHIN THE PROPOSED LANDSCAPE AREAS. VERIFY SUB-BOTTOMS AT 18 INCHES BELOW FINISH ELEVATION IN ALL SHRUB AND GROUNDCOVER AREAS. DO NOT WORK SOIL WHEN MOISTURE CONTENT IS SO GREAT THAT EXCESS COMPACTION WILL OCCUR NOR WHEN IT IS SO DRY THAT DUST WILL FORM IN THE AIR OR THAT CLOUDS WILL NOT BREAK READILY. APPLY WATER IF NECESSARY TO PROVIDE IDEAL MOISTURE CONTENT FOR TILDS AND FOR PLANTING AS SPECIFIED. THOROUGHLY SCARIFY AND RIP ALL LANDSCAPE GRADES WHICH HAVE BECOME COMPACTED TO A DEPTH OF 12 INCHES WITH MULTIPLE PASSES, NO DEVICES TO EACH OTHER. SCARIFY AREAS INACCESSIBLE TO MECHANIZED EQUIPMENT WITH HAND TOOLS.

REMOVE ALL SURFACE LIMBS, ROCKS, VEGETATION AND/OR DEBRIS LARGER THAN 1-INCH FROM ALL GRADES PRIOR TO ANY SOIL PREPARATION. THOROUGHLY MIXED/BLended SOIL AS REQUIRED TO MEET FINISH ELEVATIONS. APPLY SOIL PREPARATION MATERIALS TO ALL PLANTING AREAS AND THOROUGHLY INCORPORATE INTO THE TOP 8 INCHES OF SOIL. WET SOIL THOROUGHLY AND ALLOW TO SETTLE. REPEAT THIS COMPACTING PROCEDURE UNTIL SOIL IS STABLE ENOUGH TO PERMIT ALKATION AND DRAINAGE FOR PLANT MATERIAL. FINISH GRADE ALL PLANTING AREAS TO A SMOOTH UNIFORM SURFACE DRAINING AWAY FROM BUILDINGS AND READY FOR PLANTING. FINISH GRADE TO BE 3 INCHES BELOW FINISH GRADE OF ADJACENT DRIVE AND GROUNDCOVER AREAS. FINISH GRADES TO BE APPROVED PRIOR TO PLACEMENT OF ANY PLANT MATERIAL. FINISH GRADE SHALL BE OVER DEGRADED. REMOVE ALL PAYING WASTE, GRAVEL, BARS AND UNDERLIES SUBSOL TO 18 INCHES BELOW TOP OF STRUCTURAL COMPACTON.

MULCH: ONE-QUARTER-INCH (1/4") TO ONE HALF-INCH (1/2") SIZE FINE TEXTURED NITROLOGED BARK MULCH. SHREDDED WOOD WILL NOT BE ALLOWED.

STAKES: 2-INCH DIAMETER, BY 10-FOOT MINIMUM TREATED LODGEPOLE PINE TREE STAKE.

DRY MATERIAL: CINCIN TYPE TIES. NO WIRE WILL BE ALLOWED.

HERBICIDE: HERBICIDE IS NOT RECOMMENDED FOR THE FIRST YEAR AFTER INSTALLATION.

ANTI-DESICCANT: "MULT-PROOF" 48 HOURS PRIOR TO SHIPMENT TO SITE FROM JUNE 1 TO THROUGH SEPTEMBER. THOROUGHLY SOAK WATERY PLANTS PRIOR TO DELIVERY. PLANT MATERIAL DELIVERED TO SITE TO BE KEPT CONTINUALLY MOIST THROUGH INSTALLATION.

EXECUTION: FINISH GRADES: FINE GRADE AND REMOVE ROCKS AND FOREIGN OBJECTS OVER TWO INCHES (2") DIAMETER FROM TOP THREE INCHES (3") OF PREPARED PLANTING BED. ALL FINISH GRADES TO BE SMOOTH EVEN GRADES, LIGHTLY COMPACTED, AS SHOWN ON THE PLAN AND DETAILED. SITE CIVIL DRAWINGS IDENTIFY FINAL ELEVATIONS.

TREES: ARRANGE TREES ON SITE IN PROPOSED LOCATIONS PER DRAWINGS. EXCAVATE PIT, PLANT AND STAKE OF GUY, AS CALLED OUT AND DETAILED. ALL TREES AND SUPPORTS TO STAND VERTICAL. TREES TO BE PLANTED AS SHOWN ON THE PLANTING PLAN, LOCATED AS DETAILED AND AS CALLED OUT ON PLANT LIST. BACKFILL SHALL BE PIT SOILS. SETTLE BACKFILL USING WATER ONLY. NO MECHANICAL COMPACTON.

SHRUBS: INSTALL SHRUBS AS SPECIFIED FOR TREES.

GROUNDCOVERS: EXCAVATE PITS TO A MINIMUM OF THREE INCHES (3") BELOW, AND THREE THE ROOT BALL DIAMETER. WATER THOROUGHLY AND TAKE CARE TO ENSURE THAT ROOT CROWN IS AT PROPER GRADE, AS DETAILED.

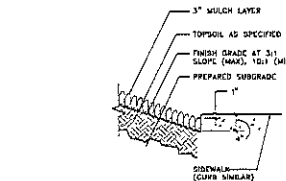
MULCH: MULCH ALL LANDSCAPE AREAS WITH A THREE INCH (3") LAYER OF MULCH AS NOTED ON DETAIL.

UTILITY CLEARANCES: FIELD ADJUST PLANT LOCATIONS FOR 8-FOOT SEPARATION OF TREES/SHRUBS AND 2-FOOT SEPARATION FOR GROUNDCOVERS FROM FIRE HIDEARMS AND UTILITY VAULTS.

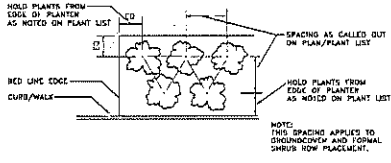
PLANTING MAINTENANCE: CONTRACTOR TO MAINTAIN PLANTINGS THROUGH COMPLETED INSTALLATION, AND UNTIL ACCEPTANCE OF LANDSCAPE INSTALLATION. PLANTING MAINTENANCE TO INCLUDE WATERING, WEEDING, CLEANING, TIGHTENING AND REPAIRING OF TREE SUPPS, RECEIVING PLANTS TO PROPER GRADES OR POSITIONS, AND RE-ESTABLISHING SETTING GRADES. HERBICIDE IS NOT RECOMMENDED FOR ONE YEAR FOLLOWING LANDSCAPE INSTALLATION. INCLUDE A REPLACEMENT OF DEAD PLANTS AND PLANTS SHOWING LOSS OF 40 PERCENT OR MORE OF CANOPY.

FERTILIZATION FOR GROUNDCOVERS: UNIFORMLY BROADCAST SULFUR COATED UREA AT THE RATE OF FIVE (5) LBS. PER 1,000 SQUARE FEET. THE FIRST APPLICATION TO OCCUR APPROXIMATELY FORTY-FIVE (45) DAYS AFTER PLANTING. IN EARLY FALL AND SPRING, SUBSTITUTE A DOPPLICE FERTILIZER SUCH AS FERTISOL OR EQUAL FOR THE SULFUR COATED UREA AT THE RATE OF SIX (6) LBS. PER 1,000 SQUARE FEET. FOLLOW EACH FERTILIZATION WITH A THOROUGH IRRIGATION APPLICATION.

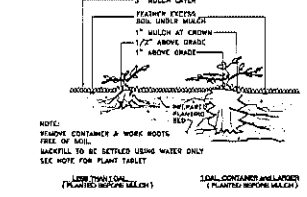
IRRIGATION MAINTENANCE: THE IRRIGATION SYSTEM TO BE MAINTAINED INCLUDING ADJUSTMENTS FOR BALANCED WATER DISTRIBUTION AND PREVENTION. FAILED OR MALFUNCTIONING IRRIGATION EQUIPMENT SHALL BE REPLACED OR CORRECTED. PLANT AND IRRIGATION MAINTENANCE TO INCLUDE THOSE OPERATIONS NECESSARY TO THE PROPER GROWTH AND SURVIVAL OF ALL PLANT MATERIALS. CONTRACTOR TO PROVIDE THIS WORK IN ADDITION TO SPECIFIC WARRANTIES/GUARANTEES.



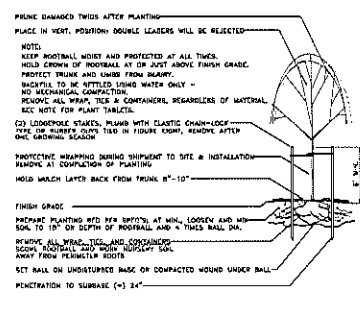
PLANTER SECTION DETAIL
 NOT TO SCALE



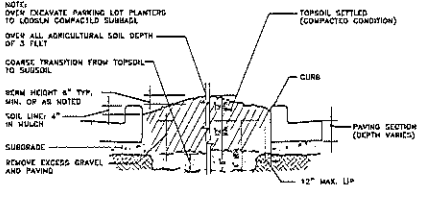
PLANT MATERIAL SPACING DETAIL
 NOT TO SCALE



GROUNDCOVER PLANTING DETAIL
 NOT TO SCALE



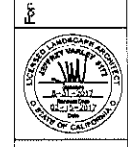
TREE PLANTING/STAKING DETAIL
 NOT TO SCALE



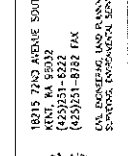
GRADING IN PARKING LOT PLANTER DETAIL
 NOT TO SCALE

PRELIMINARY LANDSCAPE PLAN
 LAUREL RD AND O'HARA AVE
 OAKLEY, CA 94561

KEYLOCK ENTERPRISES
 1995 OAK PARK BLVD.
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18250 72ND AVENUE SOUTH
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 (253)531-6222
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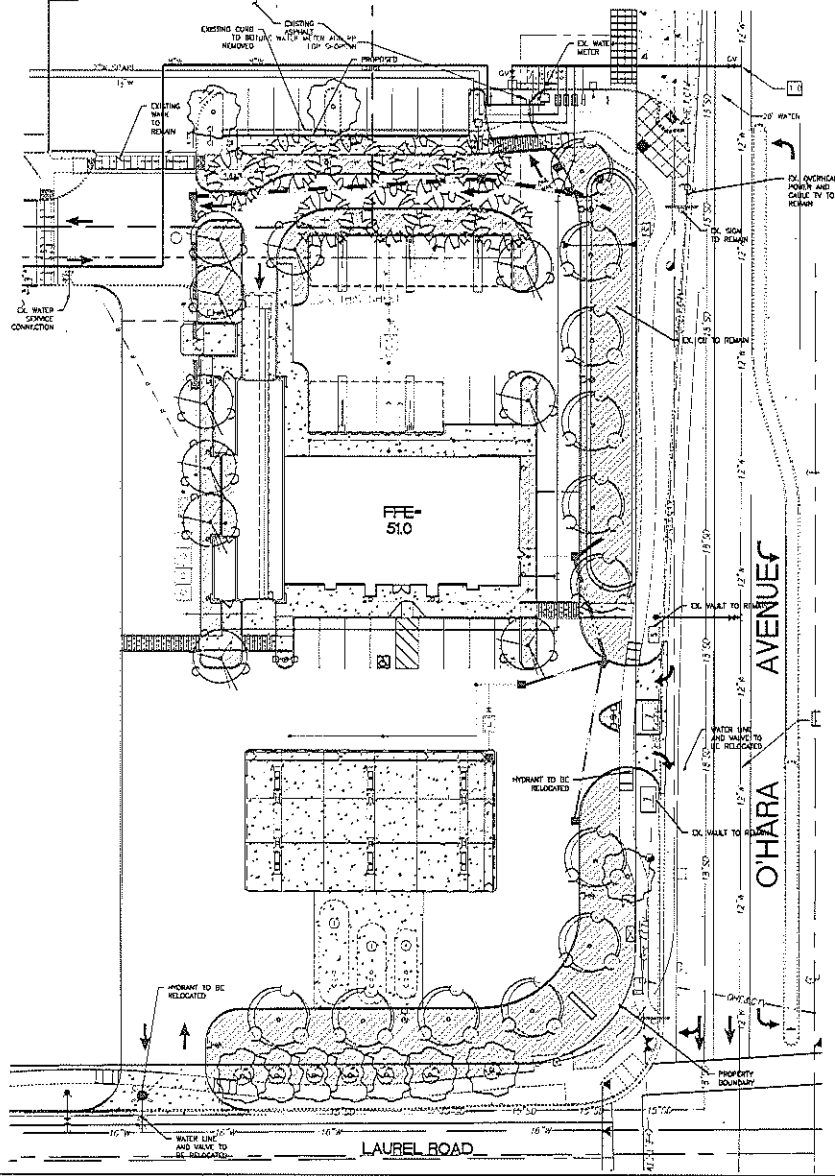
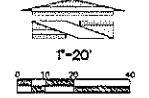


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PRELIMINARY LANDSCAPE PLAN

CHEVRON EXTRA MILE CARWASH FUEL FACILITY

LAUREL ROAD AND O'HARA AVE, OAKLEY, CA 94561



LANDSCAPE IRRIGATION LEGEND

CONTROL	DESCRIPTION	MIN. PSI	EMITTER SPACING	EMITTER QTY	MAXIMUM LINEAR FT.
LA	RAINBOW RW5-8-C-1402 3/8" ROOT ZONE WATERING SYSTEM TO BE USED WITH INTERNAL FILTERS/TWIN STRINGS.	20	AS SHOWN ON PLAN	20	N/A
	NETAWM LANDSCAPE TECHNIQUE DRIPLINE COMPONENTS TO BE USED WITH INTERNAL FILTERS/TWIN STRINGS.	20	17"	20	400 @ 45 PSI
	12/00S-12/16 - SUB-SURFACE DRIP IRRIGATION FOR PLANTING AREAS WITH GROUNDCOVER, SHRUBS AND TREES. APPLY NOTED DRAINAGE IS DESIGNED WITH .25 GPH EMITTERS SPACED AT 12 INCHES SPACED AND A ROW SPACING OF 17 INCHES. THE APPLICATION RATE FOR THIS IS 2.0 GALLONS OF WATER PER HOUR OF RUN TIME.	20	17"	20	400 @ 45 PSI
NO SYMBOL	NETAWM 10-CV-01 DRIP SYSTEM OPERATION/PRESSURE INDICATOR STAKES, PROVIDE FOR EACH ZONE				
NO SYMBOL	NETAWM TL5A SOIL STAKES, AT 5 FEET ON CENTER				
NO SYMBOL	NETAWM TL50W SHAPLINE FLUSH VALVE, 1 PER IRRIGATION ZONE. LOCATE AT LOWEST ELEVATION WITHIN EACH ZONE. INSTALL IN 10" VALVE BOX				
NETAWM	NETAWM CONTROL ZONE KIT: FLOW 11.0 - 35 GPH, IN VALVE BOX				
NETAWM	NETAWM CONTROL ZONE KIT: FLOW 4.3 - 17.6 GPH, IN VALVE BOX				
NETAWM	NETAWM CONTROL ZONE KIT: FLOW 0.25 - 4.4 GPH, IN VALVE BOX				
NO SYMBOL	NETAWM 160-02M-1/2" MINIMUM 24-POSITION CONTROLLER, (RANDOMIC CONNECTIONS), PROVIDE GROUND AND BATTERIES PER MFG. SPEC.				
NO SYMBOL	COORDINATE WITH OWNER AND GENERAL CONTRACTOR FOR BEST LOCATION OF REMOVAL CONNECTIONS. IF LOCATION IS TO BE MODIFIED, COORDINATE WHETHER THE CONTROLLER IS TO BE INSTALLED ON AN EXTERIOR BUILDING WALL OR MOUNTED ON A METAL HORIZONTAL WITH CONC. FOOTING.				
NO SYMBOL	MINIMUM 25 GPH, 3/4" GATE CLOSING VALVE, IN VALVE BOX, PROVIDE THREE KEYS AND HOSE SHOVELS PLASTIC BALL VALVE, MATCH PIPE SIZE, IN VALVE BOX				
NO SYMBOL	RAINBOW WP7-RO (2) WIRELESS RAIN SENSOR CONTROL, MOUNT WHERE TREES OR BUILDINGS WILL NOT OBSTRUCT RAIN WIND OR PREVENT FRESH SENSORS.				
NO SYMBOL	RAINBOW SH7-Y SOIL MOISTURE SENSOR WITH INSTALL WHERE SHEDS OR BUILDINGS WILL NOT OBSTRUCT RAIN WIND OR PREVENT FROM SENSOR. MORE THAN ONE SENSOR MAY BE REQUIRED TO EFFICIENTLY DETERMINE SOIL MOISTURE FOR EXIST. SITE. CONTACT NETAWM REPRESENTATIVE FOR ADJUSTMENT AS TO THE NUMBER OF SENSORS AND WHERE THE SENSORS NEED TO BE INSTALLED FOR MAXIMUM WATER SAVINGS.				
NO SYMBOL	NETAWM INFORMATION - COORDINATION WATER VALVE AND WATER METER / FLOW SENSOR REFER TO SPECIFICATIONS AND LOCAL NETAWM REPRESENTATIVE FOR COORDINATION OF BEST LOCATION FOR HYDROMETER LOCATION WITHIN POINT OF CONNECTION / MAINLINE.				

- P.O.C. (1)** - WALKING 850 XLTU-17 DOUBLE CHECK VALVE ASSEMBLY (STATE APPROVED), TEST AND CERTIFICATION BY LICENSED PLUMBING TIGHTER.
- NO SYMBOL** WALKING 850X PROFESSIONAL WALK BODIES INSTALL AT GRADE LEVEL WITH BOOT LOCK LO.
- NO SYMBOL** MANHOLE - 50" x 40" PVC (16" COVER) 1-1/2" SIZE MINIMUM
- LATERAL - CLASS 200 PVC (12" COVER) SIZE PER PLAN, 3/4" G2C MINIMUM
- SLEEVE - CLASS 200 PVC, 24" MINIMUM COVER AT VEHICLE CROSSINGS, TWICE THE SIZE OF INSERT PIPE AND/OR WREED, 8" G2C MINIMUM, COORDINATE WITH GENERAL AND PAVING CONTRACTORS
- TYPICAL VALVE CALL-OUT**
 VALVE STATION NUMBER
 VALVE SIZE

PIPE SCHEDULE SCHEDULE

TYPE OF PIPE	1/2"	3/4"	1"	1 1/2"	2"	2 1/2"
SCHEDULE 40 PVC MANHOLE	12	22	30	50	70	FLOW GPM
CLASS 200 PVC LATERALS	10	18	26	33	53	FLOW GPM

NOTE: MINIMUM OF 65 - 75 PSI STATIC PRESSURE AT POINT OF CONNECTION (P.O.C.)

- GENERAL IRRIGATION NOTED**
- IRRIGATION DESIGN SHOWN DIAGNOSTICALLY FOR PLAN CLARITY.
 - BEFORE TO INSTALLATION OF DRIP IRRIGATION CONTRACTOR IS REQUIRED TO CONTACT LOCAL NETAWM REPRESENTATIVE FOR TRAINING ON THE INSTALLATION AND RUN TIME MANAGEMENT OF DRIP SYSTEM AND NETAWM LANDSCAPE TECHNIQUE THAT FACTORY TRAINING HAS OCCURRED PRIOR TO INSTALLATION.
 - CONTACT OUR SERVICE WITH NETAWM AT (253) 298-4190. PLEASE GIVE REPRESENTATIVE A MINIMUM TWO WEEK NOTICE.
 - DRIP TUBING SHALL BE INSTALLED FOUR (4) INCHES BELOW FINAL GRADE. CONTRACTOR TO RUN EACH ZONE BEHIND CONCRETE TUBING, TO VERIFY THAT THERE ARE NO CONNECTION LEAKS. TESTS TO BE INSTALLED ON A SEPARATE ZONE, BEING MINIMUM FIVE (5) FEET TO THE NEXT IRRIGATION ZONE, FOR ADDITIONAL INFORMATION.
 - USE COMMON THICKNESS METERS LOCATING EQUIPMENT WITHIN THE LANDSCAPE.
 - PLACE MANHOLE OVERHEAD VALVES IN ADJACENT DRIVEWAYS AND ALONG WITH PAVED SURFACES OR PLANTING BED EDGES.
 - SHOVEL-OUT LANDSCAPE EDGES WHERE FEASIBLE.
 - ANY WORK AND/OR IRRIGATION LINES PLACED WITHIN ANY TREE PROTECTION ZONES ESTABLISHED FOR THE PROJECT MUST BE INSTALLED IN SUCH A MANNER AS TO NOT CAUSE DAMAGE TO TREE ROOTS WITHIN THE PROTECTION ZONE, SUCH AS BY CUTTING ROOTS, DIGGING TRENCHES, OPERATION OF MACHINERY, ETC.
 - SPECIFIC CARE MUST BE TAKEN (HAND DIGGING PROVIDED, GROUNDING LINES TO STAY OUT OF THESE AREAS WHERE POSSIBLE, ETC.) TO ENSURE DAMAGE TO THE TREES DOES NOT OCCUR. IN THE EVENT DAMAGE DOES OCCUR TO THESE AREAS, THE CITY MAY REQUIRE, AT THEIR DISCRETION, REPLACEMENT OF THE DAMAGED LANDSCAPE VALUE OF THE TREES DAMAGED OR OTHER MEANS TO MAKE UP THAT LOSS.

PRELIMINARY LANDSCAPE PLAN
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STATE OF CALIFORNIA
DIVISION OF LAND AND NATURAL RESOURCES
PLANNING AND RESEARCH DIVISION

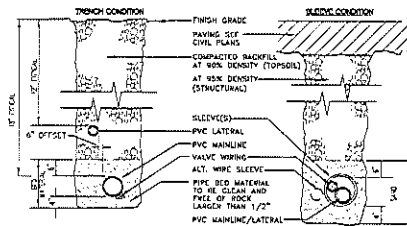
Scale	North	Typed	Year	4/1
Date	2010	Checked	Approved	5/11/2010
Project	2010	Drawn	Approved	5/11/2010

BARCHAUSEN PLANNING & LANDSCAPE ARCHITECTS
CORPORATION

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CIVIL ENGINEERING, LAND PLANNING,
SURVEYING, ENVIRONMENTAL SERVICES

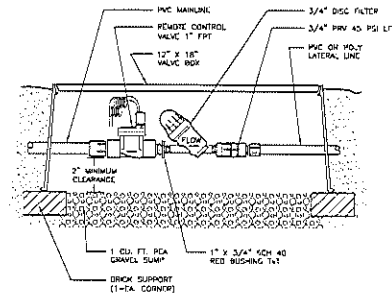
18220
Date: L-3_4

**PRELIMINARY LANDSCAPE PLAN
CHEVRON EXTRA MILE CARWASH FUEL FACILITY
LAUREL ROAD AND O'HARA AVE, OAKLEY, CA 94561**

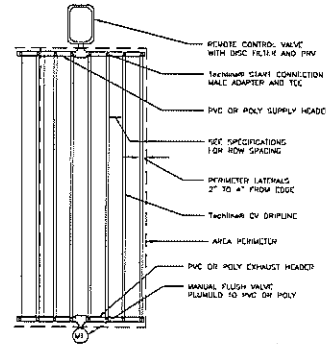


NOTES:
DIMENSIONS ARE MINIMUM CLEARANCES.
ALL IRRIGATION SLEEVING TRENCH BACKFILL MATERIAL TO BE CLASS 70 OR BETTER (SAND, 85% PASSING NO. 40 SCREEN) AND BE COMPACTED TO MIN. 95% OPTIMUM DENSITY PER ASTM D-1557-70 (MODIFIED PROCTOR)

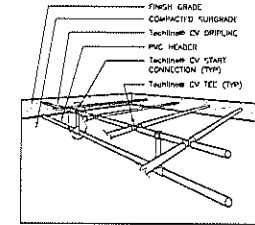
SLEEVE/TRENCHING DETAIL
NOT TO SCALE



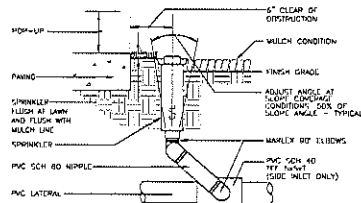
LOW-VOLUME CONTROL SYSTEM:
P/N LVCZS80-10075-LF .25 - 4.4 GPM
NOT TO SCALE DETAIL - L201LF



Techlino® CV END FEED LAYOUT
NOT TO SCALE DETAIL - C101

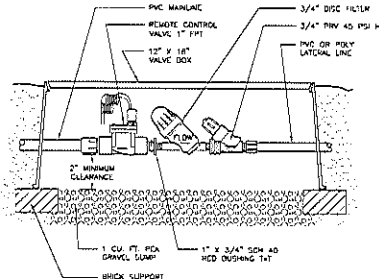


NOTES:
1. REF PLANS AND LEGEND FOR ALL DIMENSIONS AND TechniHub CV DRIPLINE SPACING
2. LAYOUT OF TechniHub CV SUBHEADERS TO START COMPROWS IS SHOWN AT 3:1, BUT MAY VARY FOR HYDRAULIC REASON ON START CONNECTIONS. SEE PLANS AND LEGEND.
Techlino® CV SUB-HEADER INSTALLATION
NOT TO SCALE DETAIL - C505

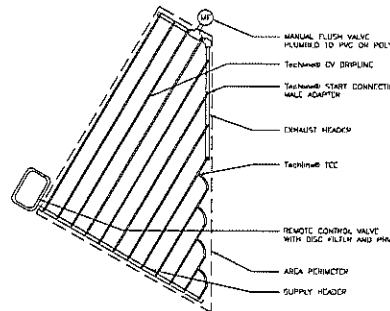


NOTE:
MANUFACTURER'S LIMITS APPLY FOR INSTALLATION AND ADJUSTMENTS.
PROVIDE DRINK JOINT RISERS AT VALVES AND CLAPS.
24" FLEXIBLE RISERS ACCEPTABLE ELSEWHERE.

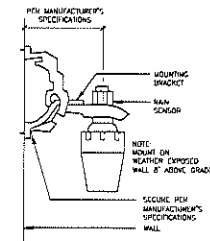
POP-UP RISER ASSEMBLY
NOT TO SCALE



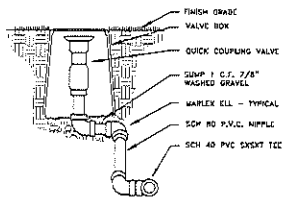
LOW-VOLUME CONTROL ZONE ASSEMBLY:
P/N LVCZS80-10075-HF 4.5 - 17.6 GPM
NOT TO SCALE DETAIL - L211HF



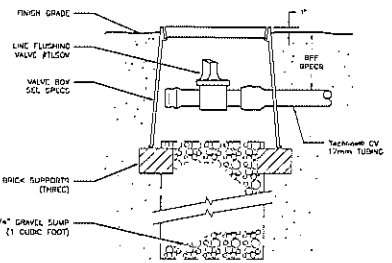
Techlino® CV IRREGULAR AREAS: Triangular
NOT TO SCALE DETAIL - C104



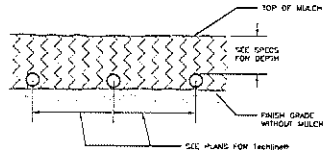
RAIN SENSOR DETAIL
NOT TO SCALE



QUICK COUPLING VALVE DETAIL
NOT TO SCALE



MANUAL LINE FLUSHING VALVE TISOV PLUMBED TO TUBING
NOT TO SCALE DETAIL - D011



Techlino® CV SUBGRADE INSTALLATION
NOT TO SCALE DETAIL - C001

PRELIMINARY LANDSCAPE PLAN
LAUREL RD AND O'HARA AVE
OAKLEY, CA 94561

KEYLOCK ENTERPRISES
1995 OAK PARK BLVD.
PLEASANT HILL, CA 94523

SCALE:
 Proposed: N/A
 Final: N/A

Project No.: 18250
 Date: 1-4-4

1825 72ND AVENUE SOUTH
 KENT, WA 98032
 (425)351-8222 FAX
 (425)351-8822 FAX
 C/O DOONSENG, LANG PLANS,
 & ARCHITECTS, INC.
 10000 15TH AVENUE, SUITE 100
 BAY BRIDGE, WASHINGTON, WA 98148

BARB HAUSEN
 CONSULTING ENGINEER

18250
 1-4-4

RESOLUTION NO. XX-17

**A RESOLUTION OF THE CITY OF OAKLEY CITY COUNCIL MAKING FINDINGS AND APPROVING CONDITIONAL USE PERMIT (CUP 04-17) AND DESIGN REVIEW (DR 03-17) FOR THE CONSTRUCTION OF A NEW CONVENIENCE STORE WITH FUEL CANOPY ON A 1.28-ACRE SITE LOCATED AT THE NORTHWEST CORNER OF LAUREL ROAD AND O'HARA AVENUE
APN: 035-510-002**

WHEREAS, on February 27, 2017, Keylock Enterprises, ("Applicant") submitted an application requesting approval of a Conditional Use Permit (CUP 04-17) and Design Review (DR 03-17) for approval of a new 3,819 square foot convenience store, a fueling island with 6 multiple product dispensers under a new 55 foot by 88 foot fuel island canopy and a new 25 foot by 80 foot car wash tunnel with outdoor vacuums. The 1.28-acre project site is located within the existing Laurel Plaza shopping center and is designated Commercial in the Oakley 2020 General Plan and zoned Retail Business (RB). The Project is located at the northwest corner of Laurel Road and O'Hara Avenue (APN: 035-510-002). ("Project"); and

WHEREAS, on March 29, 2017, the project application was deemed complete per Government Code section 65920 et. seq; and

WHEREAS, the project is designated as *Commercial* in the Oakley 2020 General Plan, and zoned RB (Retail Business) District; and

WHEREAS, the project has been deemed to be within the scope of the previously adopted Mitigated Negative Declaration and the Addendum to the Mitigated Negative Declaration for the Laurel Plaza project (SCH # 2008012068). No additional environmental review is necessary; and

WHEREAS, on April 27, 2017, the Notice of Public Hearing was posted at Oakley City Hall located at 3231 Main Street, outside the gym at Delta Vista Middle School located at 4901 Frank Hengel Way, outside the library at Freedom High School located at 1050 Neroly Road, and at the project site. The notice was also mailed out to all owners of property within a 500-foot radius of the subject property's boundaries, to parties requesting such notice, and to outside agencies; and

WHEREAS, on May 9, 2017, the City Council opened the public hearing at which it received a report from City Staff, oral and written testimony from the public, and deliberated on the project. At the conclusion of its deliberations, the City Council took a vote and adopted this resolution to approve the project, as revised by the City Council during its deliberations; and

WHEREAS, if any term, provision, or portion of these Findings or the application of these Findings to a particular situation is held by a court of competent jurisdiction to be invalid, void or unenforceable, the remaining provisions of these Findings, or their

application to other actions related to the Project, shall continue in full force and effect unless amended or modified by the City; and

WHEREAS, these Findings are based upon the City's General Plan, the City's Zoning Ordinance, the City's Commercial and Industrial Design Guidelines, and the information submitted to the City Council at its May 9, 2017 meeting, both written and oral, including oral information provided by the applicant, as reflected in the minutes of such meetings, together with the documents contained in the file for the project (hereinafter the "Record"); and

NOW, THEREFORE, BE IT RESOLVED THAT, on the basis of the above findings of fact and the entire Record, the City Council makes the following additional findings in support of the approvals:

- A. In regards to the application requesting approval of a Conditional Use Permit (CUP 04-17) and Design Review (DR 03-17) to establish and construct a gasoline service station use on a 1.28-acre site located at the northwest corner of laurel Road and O'Hara Avenue (APN 035-510-002), the City Council finds that:
1. The site for the proposed use is adequate in size and shape to accommodate the use in a manner complementary with the land and uses in the area in that the site is approximately 1.28-acres and the Retail Business (RB) Zoning District allows for the proposed development with the approval of a Conditional Use Permit and Design Review. The new building and site improvements will provide a significant aesthetic upgrade to the property, and help facilitate the economic development activities of the City; and
 2. The site for the proposed use relates to streets and highways adequate in width and pavement type to carry the quantity and kind of traffic generated by the proposed use in that the site is accessible by public rights-of-way such as Laurel Road and O'Hara Avenue, which is designed to handle project generated traffic; and
 3. The proposed use will be arranged, designed, constructed, operated, and maintained so as to be compatible with the intended character of the area and will not change the essential character of the area that is intended by the General Plan and the applicable zoning ordinances in that the proposed use is permitted in the Retail Business (RB) Zoning District with the approval of a Conditional Use Permit and Design Review. The use will comply with the noise standards set forth in the Oakley Municipal Code, will provide all parking on-site, and will bring a new business into the City; and
 4. The proposed use provides for continued growth and orderly development of the community and is consistent with the various elements and

objectives of the General Plan in that it provides a new business which will bring jobs to the City. The use and site are a result of Oakley's zoning that allows for commercial lots that can accommodate this type of use; and

5. That the proposed use, including any conditions attached thereto, will be established in compliance with the applicable provisions of the California Environmental Quality Act; and
6. The design, appearance, and manner of development of all properties within the City have a substantial relationship with the characteristics of public and private places that make a community visually interesting, functional, and a source of community pride. The site for the proposed project is adequate in size and shape to accommodate the use in a manner complementary with the land and uses in the area in that the site is approximately 1.28-acres and the Retail Business (RB) Zoning District allows for the proposed development with the approval of a Conditional Use Permit and Design Review application. The new building and site improvements will provide a significant aesthetic upgrade to the property, and help facilitate the economic development activities of the City; and
7. Development within the City should be in a manner that is of high quality and allow for flexibility of unique solutions to enhance a project's design so that it can be successfully integrated into the existing fabric of the City, while preserving the City's human scale and sense of place.
8. The quality of life and stabilization of property values are enhanced by project design that meets the criteria set forth in the Oakley Design Guidelines, Zoning Ordinance, and General Plan, as applicable. The proposed project will be arranged, designed, constructed, operated, and maintained so as to be compatible with the intended character of the area and will not change the essential character of the area that is intended by the General Plan and the applicable zoning ordinances in that the proposed project for the construction of a building for commercial and retail businesses are permitted in the Retail Business (RB) Zoning District. The use will comply with the noise standards set forth in the Oakley Municipal Code, will provide all parking on-site, and will bring a new business into the City; and
9. Design review is necessary to enhance project design, ensure quality development, maintain or enhance property values, and add to the visual character of the community and public health, safety, and welfare of Oakley residents. The proposed project provides for continued growth and orderly development of the community and is consistent with the various elements and objectives of the General Plan in that it provides a new business which will bring jobs to the City. The use of the site are a

result of Oakley's zoning that allows for commercial lots that can accommodate this type of project.

- B. The project complies with Measure J Growth Management requirements.
- C. The project is within the scope of the adopted Mitigated Negative Declaration by City Council Resolution 24-08 dated March 11, 2008 and the Addendum to the Mitigated Negative Declaration by Planning Commission Resolution 05-08 dated April 21, 2008.

BE IT FURTHER RESOLVED THAT, on the basis of the above Findings and the Record, the City Council approves of the Applicant's request for **Conditional Use Permit (CUP 04-17) and Design Review (DR 03-17)** subject to the following Conditions of Approval:

Conditions of Approval

Applicant shall comply with the requirements of the Oakley Municipal Code. Any exceptions must be stipulated in these Conditions of Approval. Conditions of Approval are based on the application received by the Planning Division dated **February 28, 2017 and revised plans submitted on April 12, 2017**, as well as additional information acquired since that time and made part of the project file.

THE FOLLOWING CONDITIONS OF APPROVAL SHALL BE SATISFIED PRIOR TO THE CONSTRUCTION OF THE PROJECT UNLESS OTHERWISE NOTED:

Planning Division Conditions

General:

1. This **Conditional Use Permit (CUP 04-17) and Design Review (DR 03-17)** is approved, as shown on the application received by the Planning Division dated **February 28, 2017** and revised plans submitted on **April 12, 2017**, and as modified by the following conditions of approval, subject to final review and approval by the Community Development Director.
2. This approval for **Conditional Use Permit (CUP 04-17) and Design Review (DR 03-17)** shall be effectuated within a period of three (3) years from the effective date of this resolution by pulling a building permit and if not effectuated shall expire on **May 9, 2020**. Prior to said expiration date, the applicant may apply for an extension of time pursuant to the provisions of the Zoning Code.
3. All construction drawings submitted for plan check shall be in substantial compliance with the plans presented to and approved by the City Council on **May 9, 2017**.

4. All conditions of approval shall be satisfied by the owner/developer. All costs associated with compliance with the conditions shall be at the owner/developer's expense.
5. Noise generating construction activities, including such things as power generators, shall be limited to the hours of 7:30 a.m. to 5:30 p.m. Monday through Friday, and shall be prohibited on City, State and Federal Holidays. The restrictions on allowed working days and times may be modified on prior written approval by the Community Development Director.
6. Should archaeological materials be uncovered during grading, trenching or other on-site excavation(s), earthwork within 30 yards of these materials shall be stopped until a professional archaeologist who is certified by the Society of Professional Archaeology (SOPA) has had an opportunity to evaluate the significance of the find and suggest appropriate mitigation(s), if deemed necessary. If the remains are determined to be that of Native American origin, procedures will be guided by California PRC 5097 through California's Native American Heritage Commission.
7. The applicant shall defend, indemnify, and hold harmless the city or any of its boards, commissions, agents, officers, and employees from any claim, action or proceeding against the city, its boards, commissions, agents, officers, or employees to attack, set aside, void, or annul, the approval of the project. The city shall promptly notify the applicant of any such claim, action or proceeding. The city shall have the option of coordinating the defense. Nothing contained in this condition shall prohibit the city from participating in a defense of any claim, action, or proceeding if the city bears its own attorney's fees and costs, and the city defends the action in good faith.
8. All noise generated by the use (including but not limited to the car wash tunnel and the vacuums) shall comply with the noise standards of Table 9-1 of the Noise Element within the Oakley 2020 General Plan.

Site Plan:

9. All parking stall striping shall be double striped. Parking stalls shall be 9 feet wide by 19 feet deep with an allowed 2 foot overhang in some cases and all drive aisles shall be a minimum 24 feet in width as reviewed and approved by the Community Development Director.
10. A lighting and photometric plan shall be submitted prior to the issuance of building permits. The minimum requirement shall be one foot of candle light within public parking areas and pedestrian pathways.
11. Light poles shall be a maximum height of twenty (20) feet and shall provide glare shields where adjacent to existing residences per the review and approval of the Community Development Director.

12. A trash enclosure shall match Oakley Disposal and City standards and shall provide adequate space to accommodate both trash and recycling. Also, if not located within the footprint of a building, trash enclosures shall be constructed with a roof to match the building design and materials, have metal gates, and when appropriate be surrounded by landscaping with climbing vines on three sides per the review and approval of the Community Development Director.
13. Storage shall be contained inside the buildings. Storage containers are not allowed and pallets, boxes, cardboard etc. shall not be stored outside.
14. The final site plan shall show a bike rack located adjacent to the convenience store, subject to final approval by the Community Development Director.

Alcohol Sales

15. Alcoholic beverage sales shall be limited to beer and wine only.
16. The convenience market is approved to have off-sale of alcoholic beverages from 6:00 am to no later than 2:00 am.
17. The Applicant shall be subject to, and shall comply with, all regulations of the Department of Alcoholic Beverage Control License regarding the sale of alcoholic beverages at the facility.
18. There shall be no alcohol or tobacco related signs on the premises displayed outside of the convenience market, except with a temporary use permit as allowed in the City's sign regulations.
19. No more than thirty percent (30%) of the square footage of the windows and clear doors of the premises shall have advertising, signs, or displays blocking the view of the interior of the premises. All advertising and signage shall be placed and maintained in a manner that ensures that law enforcement personnel have a clear and unobstructed view of the interior of the premises, included the area in which the cash registers are maintained.
20. The facilities management shall implement a security program to provide for the safety of customers and employees and to control loitering, noise, public disturbances, criminal activity and incidents of violence on the premises. The security program shall include the use of video cameras, exterior lighting, employee training, and emergency response procedures.

Architecture:

21. All exterior building colors shall be as depicted on the applicant's color rendering plans. The final color palette shall be subject to the review and approval of the Community Development Director.
22. All roof-mounted equipment shall be architecturally screened from view from all angles
23. Light fixtures on the convenience store shall be decorative fixtures per the review and approval of the Community Development Director.
24. Anti-graffiti techniques shall be used on the exterior walls of the buildings.
25. Security cameras shall be installed in locations to be reviewed and approved by the Community Development Director.

Landscaping Requirements:

26. A landscaping and irrigation plan for all areas shown on the site plan shall be submitted for review and approval of the Community Development Director prior to the issuance of building permits. The landscaping plan shall include the project's frontage and side yards. Landscaping shall conform to the Oakley Water Efficient Landscape Ordinance and the Guidelines for Implementation of the City of Oakley Water Efficient Landscape Ordinance and shall be installed prior to final occupancy. The plan shall be prepared by a licensed landscape architect and shall be certified to be in compliance with the City's Water Conservation Ordinance.
27. California native drought tolerant plant or shall be used as much as possible. All trees shall be a mix of fifteen-gallon, 24-inch box and 36-inch box, all shrubs shall be a minimum five-gallon size, except as otherwise noted.
28. Parking lot trees shall provide 50 percent shading of the parking areas at tree maturity.
29. Prior to occupancy, an on-site inspection shall be made of privately owned lands by a licensed landscape architect to determine compliance with the approved landscape plan. A signed certification of completion shall be submitted to the Community Development Director for review and approval.
30. If occupancy is requested prior to the installation of the landscape and irrigation improvements, then either a cash deposit or a letter of credit shall be delivered to the City for 125 percent of the estimated cost of the uncompleted portion of the landscape and irrigation improvements. If compliance is not achieved after six months of occupancy as determined by the Community Development Director, the City shall contract for the completion of the landscaping and irrigation

improvements to be paid for by the held sum. The City shall return the unused portion within one year of receipt or at the completion of all work.

31. Landscaping shall be maintained as shown on the landscape plan in perpetuity.

Mitigation Measures

32. All mitigation measures addressed in the environmental document shall be complied with and addressed as outlined in the Mitigation Monitoring Program approved for the Laurel Plaza project (incorporated by reference).

Signage:

33. The proposed signage shall meet the requirements of the City's Zoning Ordinance. All proposed signage shall be reviewed by the Planning and Building Divisions. The maximum height for the monument signs on each parcel is 8 feet.

34. All signs shall be on permanent structures or the office building and of design and material to compliment the proposed building office building. No signs on the premises shall be animated, rotating or flashing. No flags, pennants, banners, pinwheels or similar items shall be permitted on the premises, with the exception of a United States flag and California state flag.

35. Temporary signage for such things as special events and grand openings shall be subject to the Oakley Municipal Code Chapter 9.5 (Regulation of Signs and Outdoor Advertising).

Waste Management Plan:

36. The applicant shall submit a Waste Management Plan that complies with the City of Oakley Construction and Demolition Debris Recycling Ordinance.

Building Division Conditions

37. Plans shall meet the currently adopted Uniform Codes as well as the newest T-24 Energy Requirements per the State of California Energy Commission. To confirm the most recent adopted codes please contact the Building Division at (925) 625 – 7005.

38. An Automatic Life Safety Sprinkler System may be required as determined by the Contra Costa Fire Protection District. If required, the Automatic Life Safety Sprinkler Systems shall be designed and installed to the standards and requirements found in the most recent version of the NFPA (National Fire Protection Association).

39. Prior to requesting a Certificate of Occupancy from the Building Division all Conditions of Approval required to occupancy must be completed.
40. All new commercial buildings and places of public accommodation shall be designed to the standards found in the latest version of California Building Code Chapter 11B or the 2010 ADA standards for accessible design, whichever is stricter.

Public Works and Engineering Conditions

General:

41. Submit improvement plans prepared by a registered civil engineer to the City Engineer for review and approval and pay the appropriate processing costs in accordance with the Municipal Code and these conditions of approval. The plans shall be consistent with the Stormwater Control Plan for the project, include the drawings and specifications necessary to implement the required stormwater control measures, and be accompanied by a Construction Plan C.3 Checklist as described in the Stormwater C.3 Guidebook.
42. Submit grading plans including erosion control measures and revegetation plans prepared by a registered civil engineer to the City Engineer for review and pay appropriate processing costs in accordance with the Code and these conditions of approval.
43. Submit landscaping plans for publicly maintained landscaping, including planting and irrigation details, as prepared by a licensed landscape architect to the City Engineer for review and pay appropriate processing costs in accordance with the Code and these conditions of approval.
44. Execute any agreements required by the Stormwater Control Plan which pertain to the transfer of ownership and/or long term maintenance of stormwater treatment mechanisms required by the plan prior to the final inspection of the first house within the subdivision.
45. Design all public and private pedestrian facilities in accordance with Title 24 (Handicap Access) and the Americans with Disabilities Act.
46. Enter into an agreement with the City that requires the right of way landscaping adjacent to the site to be maintained as part of the on-site landscaping at the property owner's expense to a standard acceptable and agreed upon by the City.
47. At least one week prior to commencement of grading, the applicant shall post the site and mail to the owners of property within 300 feet of the exterior boundary of the project site notice that construction work will commence. The notice shall include a

list of contact persons with name, title, phone number and area of responsibility. The person responsible for maintaining the list shall be included. The list shall be kept current at all times and shall consist of persons with authority to indicate and implement corrective action in their area of responsibility. The names of the individual responsible for noise and litter control shall be expressly identified in the notice. The notice shall be reissued with each phase of major grading activity. A copy of the notice shall be concurrently transmitted to the City Engineer. The notice shall be accompanied by a list of the names and addresses of the property owners noticed, and a map identifying the area noticed.

48. Dust control measures shall be provided for all stockpiling per the review and approval of the City Engineer.
49. Grade any slopes with a vertical height of four feet or more at a slope of 3 to 1. Retaining walls that may be installed to reduce the slope must be masonry and comply with the City's building code.
50. Submit a dust and litter control plan to the City Engineer prior to beginning any construction activities.
51. Submit a haul route plan to the City Engineer for review and approval prior to importing or exporting any material from the site. The plan shall include the location of the borrow or fill area, the proposed haul routes, the estimated number and frequency of trips, and the proposed schedule of hauling. Based on this plan the City Engineer shall determine whether pavement condition surveys must be conducted along the proposed haul routes to determine what impacts the trucking activities may have. The project proponents shall be responsible to repair to their pre-construction condition any roads along the utilized routes.
52. Prior to commencement of any site work that will result in a land disturbance of one acre or more, the applicant shall provide evidence to the City Engineer that the requirements for obtaining a State General Construction Permit have been met. Such evidence may be a copy of the Notice of Intent letter sent by the State Water Resources Control Board. The WDID Number shall be shown on the grading plan prior to approval by the City Engineer.
53. Submit an updated erosion control plan reflecting current site conditions to the City Engineer for review and approval no later than September 1st of every year while the Notice of Intent is active.
54. All utility boxes shall be installed underground and all wires and cables must be installed in conduits. Compliance with this condition shall be at the discretion of the City Engineer.
55. Above ground utility boxes shall be camouflaged per the review and approval of the City Engineer.

56. Design and construct all storm drainage facilities in compliance with the Municipal Code and City design standards.
57. Prevent storm drainage from draining across the sidewalk(s) and driveway(s) in a concentrated manner.
58. Comply with all rules, regulations and procedures of the National Pollutant Discharge Elimination System (NPDES) for municipal, construction and industrial activities as promulgated by the California State Water Resources Control Board, the Regional Water Quality Control Board (Central Valley - Region IV), including the Stormwater C.3 requirements as detailed in the Guidebook available at www.cccleanwater.org.

Compliance shall include developing long-term best management practices (BMP's) for the reduction or elimination of storm water pollutants. The project design shall incorporate wherever feasible, the following long-term BMP's in accordance with the Contra Costa Clean Water Program for the site's storm water drainage:

- Utilize pavers or other pervious materials for driveways, walkways, and parking areas wherever feasible.
- Minimize the amount of directly connected impervious surface area.
- Delineate all storm drains with "No Dumping, Drains to the Delta" permanent metal markers per City standards.
- Construct concrete driveway weakened plane joints at angles to assist in directing run-off to landscaped/pervious areas prior to entering the street curb and gutter.
- Install filters in on-site storm drain inlets.
- Sweeping the paved portion of the site at least once a month utilizing a vacuum type sweeper.
- Use of landscape areas, vegetated swales, pervious pavement, and other infiltration mechanisms to filter stormwater prior to entering the storm drain system.
- Provide a sufficient amount of on-site trash receptacles.
- Distribute public information items regarding the Clean Water Program to customers.
- Other alternatives as approved by the City Engineer.

59. Submit a fuel spillage containment plan and long-term water quality plan for the gas station portion of the project.

Fees/Assessments:

60. Comply with the requirements of the development impact fees listed below, in addition to those noticed by the City Council in Resolution 85-00 and 08-03. The applicant shall pay the fees in the amounts in effect at the time each building permit is issued.

- A. Traffic Impact Fee (authorized by Ordinance No. 14-00, adopted by Resolution 49-03);
- B. Regional Transportation Development Impact Mitigation Fee or any future alternative regional fee adopted by the City (authorized by Ordinance No. 14-00, adopted by Resolution No. 73-05);
- C. Park Land Dedication In-Lieu Fee (adopted by Ordinance No. 03-03);
- D. Park Impact Fee (authorized by Ordinance No. 05-00, adopted by Resolution No. 19-03);
- E. Public Facilities Fee (authorized by Ordinance No. 05-00, adopted by Resolution No. 18-03);
- F. Fire Facilities Impact Fee, collected by the City (adopted by Resolution No. 09-01);
- G. General Plan Fee (adopted by Resolution No. 53-03); and

The applicant should contact the City Engineer prior to constructing any public improvements to determine if any of the required improvements are eligible for credits or reimbursements against the applicable traffic benefit fees or from future developments.

- 61. The applicant shall be responsible for paying the County Recorder's fee for the Notice of Determination as well as the State Department of Fish and Game's filing fee.
- 62. Annex the property to the City of Oakley's Community Facilities District No. 2015-2 (CFD No. 2015-2) which provides a funding mechanism to mitigate the Development's fiscal impact associated with the City's regional, community and neighborhood parks, public area landscaping, street lights and storm water facilities. The applicant shall apply for annexation and provide all information and documents required by the City to process the annexation. All costs of the annexation shall be paid by applicant in advance. The CFD's annual special tax rates per parcel will be set at the time of annexation. The annexation shall be completed prior to issuance of the Certificate of Occupation.
- 63. Applicant shall comply with the drainage fee requirements for Drainage Area 30A and Drainage Area 130 as adopted by the County Board of Supervisors. The applicant shall pay the fee in effect at the time of building permit issuance. Certain improvements required by the Conditions of Approval for this development or the Code may be eligible for credit or reimbursement against the drainage area fee. The developer should contact the City Engineer to personally determine the extent of any credit or reimbursement for which they might be eligible. Any credit or

reimbursements shall be determined prior to filing the final map or as approved by the Flood Control District.

ADVISORY NOTES

PLEASE NOTE ADVISORY NOTES ARE ATTACHED TO THE CONDITIONS OF APPROVAL BUT ARE NOT A PART OF THE CONDITIONS OF APPROVAL. ADVISORY NOTES ARE PROVIDED FOR THE PURPOSE OF INFORMING THE APPLICANT OF ADDITIONAL ORDINANCE REQUIREMENTS THAT MUST BE MET IN ORDER TO PROCEED WITH DEVELOPMENT.

- A. The applicant/owner should be aware of the expiration dates and renewing requirements prior to requesting building or grading permits.
- B. The project will require a grading permit pursuant to the Ordinance Code.
- C. Comply with the requirements of the Ironhouse Sanitary District.
- D. Comply with the requirements of the East Contra Costa Fire Protection District.
- E. Comply with the requirements of the Diablo Water District.
- F. Comply with the requirements of the Building Inspection Department. Building permits are required prior to the construction of most structures.
- G. This project may be subject to the requirements of the Department of Fish and Game. It is the applicant's responsibility to notify the Department of Fish and Game, PO Box 47, Yountville, California 94599, of any proposed construction within this development that may affect any fish and wildlife resources, per the Fish and Game Code.
- H. This project may be subject to the requirements of the Army Corps of Engineers. It is the applicant's responsibility to notify the appropriate district of the Corps of Engineers to determine if a permit is required, and if it can be obtained.

PASSED AND ADOPTED by the City Council of the City of Oakley at a meeting held on the 9th day of May, 2017 by the following vote:

AYES:

NOES:

ABSENT:

ABSTENTIONS:

APPROVED:

Sue Higgins, Mayor Date

ATTEST:

Libby Vreonis, City Clerk Date

**Citizen Planning Advisors
Consolidated Comments
Laurel Plaza Mini-Mart and Gas Station Conditional Use Permit (CUP 04-17) and
Design Review (DR 03-17)**

Several of the five Citizen Planning Advisors (CPA) members submitted comments to Staff by email. Per the CPA guidelines, Staff has consolidated the comments and made them part of the project meeting packet. Comments are verbatim with the exception of formatting and corrected typos. Some comments and questions are similar in nature. Staff has included a section in the project staff report that addresses some of the comments. The staff report does not directly respond to each comment and question.

1. I have reviewed the plans and have driven by the site. The station looks good and will definitely be an addition to the city of Oakley.
2. Can there be a dedicated right hand lane for entrance? Concerned about accidents due to the quick turns into the driveways. Is there enough parking for vehicles with trailers? This looks like it will be a good location for boaters on their way to and from a day on the delta. If they get a couple of those rigs in the lot, it could cause an issue. Needs a few pull throughs. Is the turn on the north driveway too sharp for a long vehicle or vehicle with trailer? Can a more interesting façade be incorporated on the South Elevation? Maybe a design element that pulls some interest? Will the car wash and vacuums shut down at a specific time at night? Could be very annoying to the homes to the north.
3. Assuming the structure shall be per codes, my area of concern will be that this business is going to be located between two schools. Will they be selling any alcoholic product? As far as I know, any there has to be certain distance from the schools to sell any alcoholic beverage.