



# SHILOH OAKLEY, CA

MAY 8, 2019

CITY OF OAKLEY  
Planning Department

MAY 14 2019

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KB Home Bay Area

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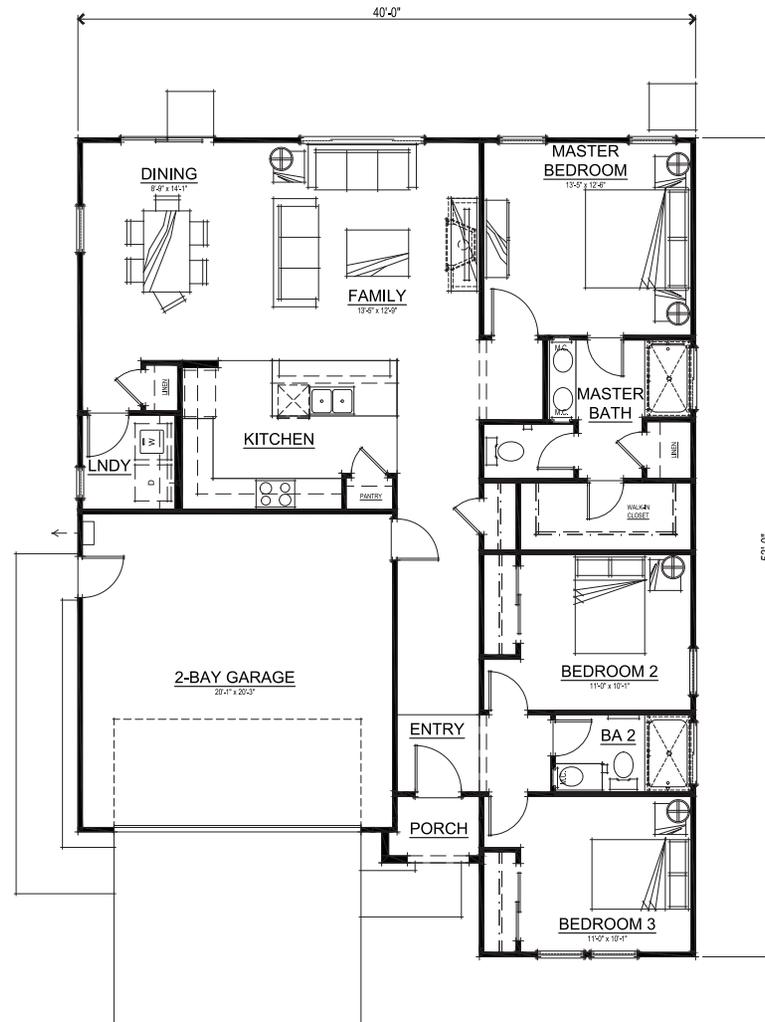


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**PROJECT DATA & SHEET INDEX**  
 A1





FIRST FLOOR PLAN

SQUARE FOOTAGES	
FLOOR PLAN	1478 SQ. FT.
TOTAL LIVING	1478 SQ. FT.
2-CAR GARAGE	420 SQ. FT.
PORCH	25 SQ. FT.



PLAN 1 FLOOR PLAN

A3

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**EXTERIOR MATERIALS**

SPANISH ELEVATION

CEMENT PLASTER FINISH  
 CONCRETE S-TILE ROOFING  
 CLAY TILE GABLE ACCENT  
 FOAM WINDOW TRIM  
 DECORATIVE GARAGE DOOR

CRAFTSMAN ELEVATION

CEMENT PLASTER FINISH  
 FIBER CEMENT SHAKE SIDING  
 COMP. SHINGLE ROOFING  
 DECORATIVE CORBEL w/ KICKER  
 FOAM WINDOW TRIM  
 CEMENT PLASTER PORCH COLUMNS  
 DECORATIVE GARAGE DOOR

ITALIANATE ELEVATION

CEMENT PLASTER FINISH  
 STONE VENEER  
 CONCRETE FLAT TILE ROOFING  
 DECORATIVE SHUTTERS  
 FOAM WINDOW TRIM  
 DECORATIVE GARAGE DOOR



SPANISH



ITALIANATE



CRAFTSMAN

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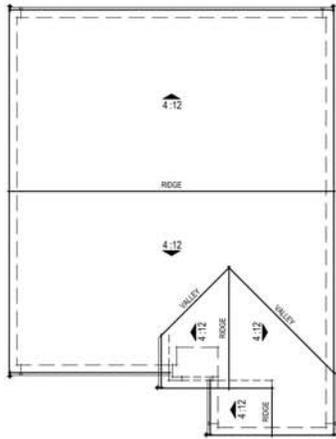
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PLAN 1 FRONT ELEVATIONS  
 A4

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ROOF PLAN



LEFT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

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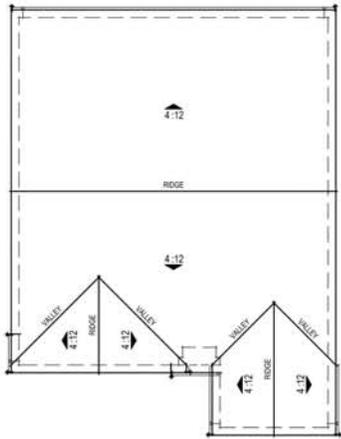


PLAN 1 SPANISH EXTERIOR ELEVATIONS

A5

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ROOF PLAN



LEFT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

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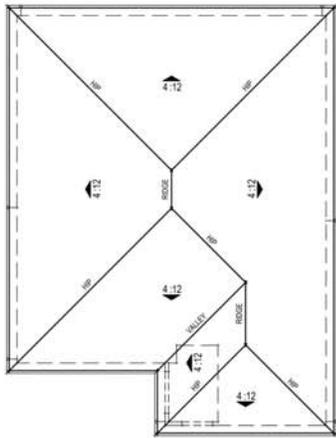


PLAN 1 CRAFTSMAN EXTERIOR ELEVATIONS

A6

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ROOF PLAN



LEFT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

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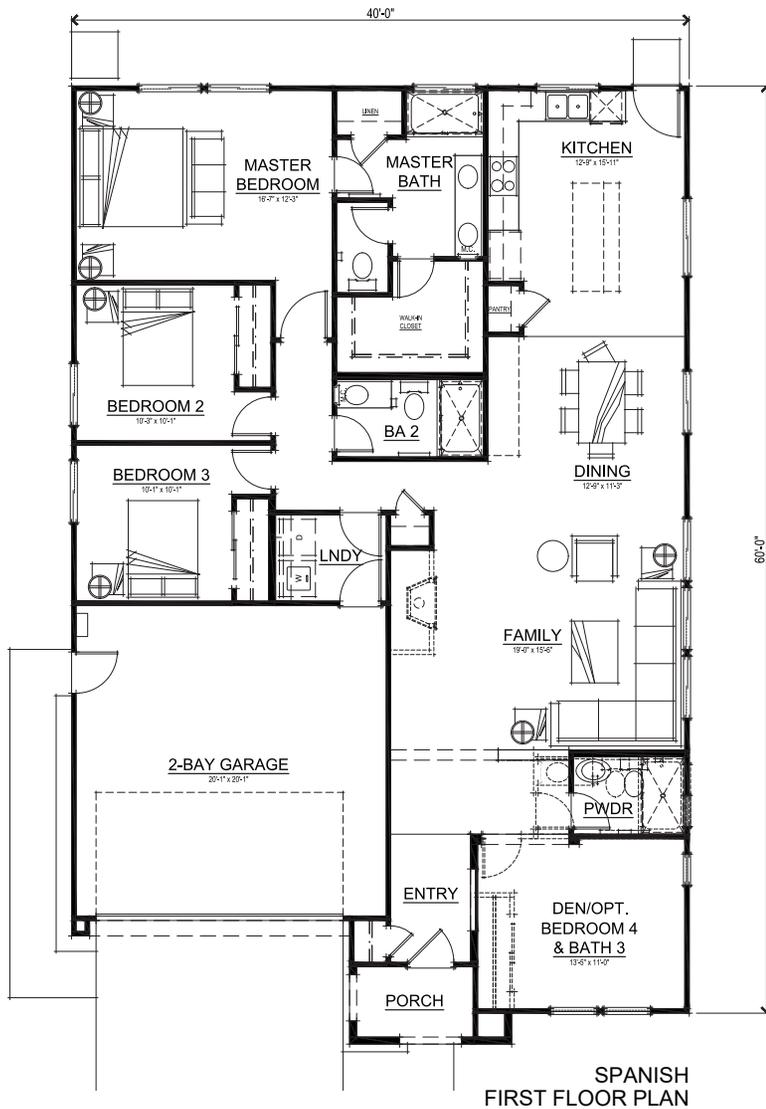


PLAN 1 ITALIANATE EXTERIOR ELEVATIONS

A7

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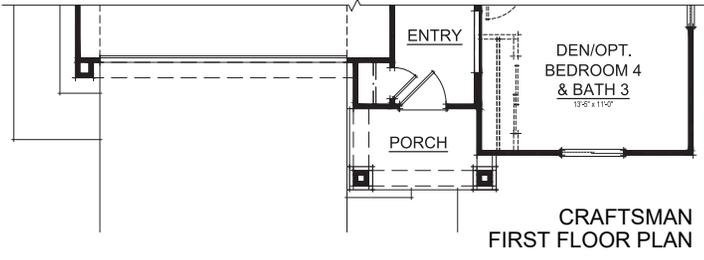




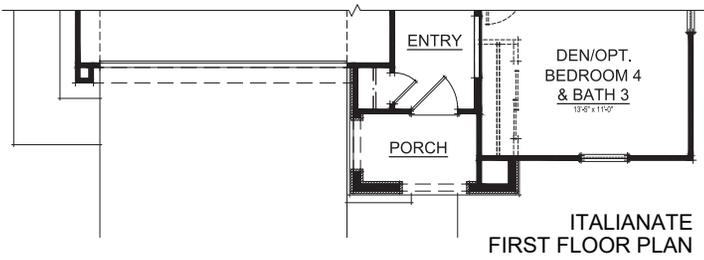
SQUARE FOOTAGES	
TOTAL LIVING	1854 SQ. FT.
2-BAY GARAGE	414 SQ. FT.
PORCH 'A'	40 SQ. FT.



PLAN 2 FLOOR PLAN  
A8



CRAFTSMAN  
FIRST FLOOR PLAN



ITALIANATE  
FIRST FLOOR PLAN

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**EXTERIOR MATERIALS**

SPANISH ELEVATION

CEMENT PLASTER FINISH  
 CONCRETE S-TILE ROOFING  
 CLAY TILE GABLE ACCENT  
 FOAM WINDOW TRIM  
 DECORATIVE GARAGE DOOR

CRAFTSMAN ELEVATION

CEMENT PLASTER FINISH  
 FIBER CEMENT SHAKE SIDING  
 COMP. SHINGLE ROOFING  
 DECORATIVE CORBEL w/ KICKER  
 FOAM WINDOW TRIM  
 CEMENT PLASTER PORCH COLUMNS  
 DECORATIVE GARAGE DOOR

ITALIANATE ELEVATION

CEMENT PLASTER FINISH  
 STONE VENEER  
 CONCRETE FLAT TILE ROOFING  
 DECORATIVE SHUTTERS  
 FOAM WINDOW TRIM  
 DECORATIVE GARAGE DOOR



SPANISH



ITALIANATE



CRAFTSMAN

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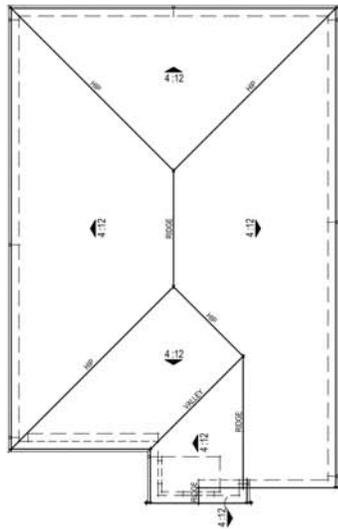
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PLAN 2 FRONT ELEVATIONS  
 A9

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ROOF PLAN



LEFT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



PLAN 2 SPANISH EXTERIOR ELEVATIONS  
A10

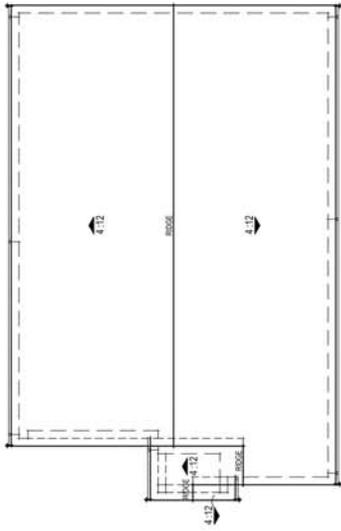
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ROOF PLAN



LEFT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

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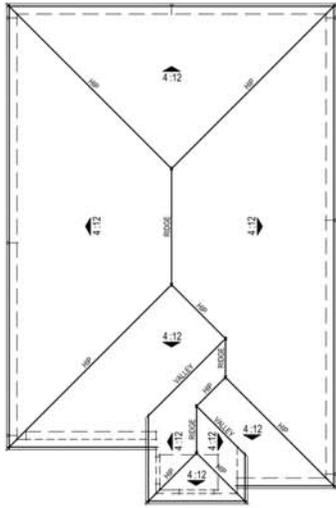


PLAN 2 CRAFTSMAN EXTERIOR ELEVATIONS

A11

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ROOF PLAN



LEFT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

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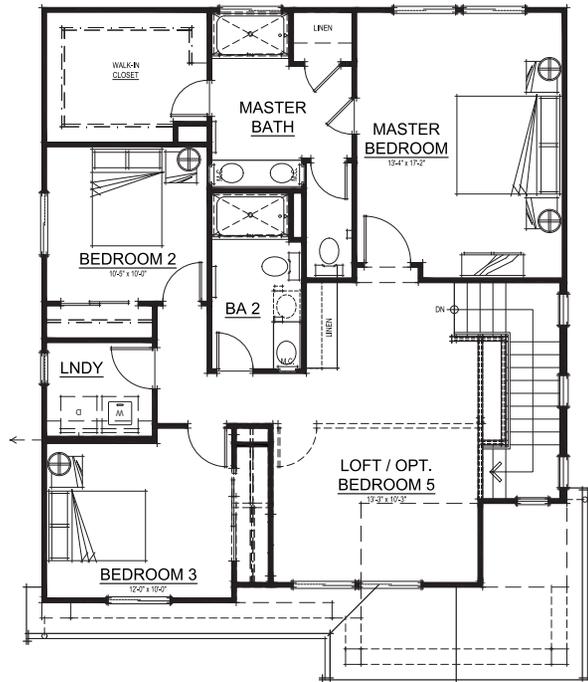
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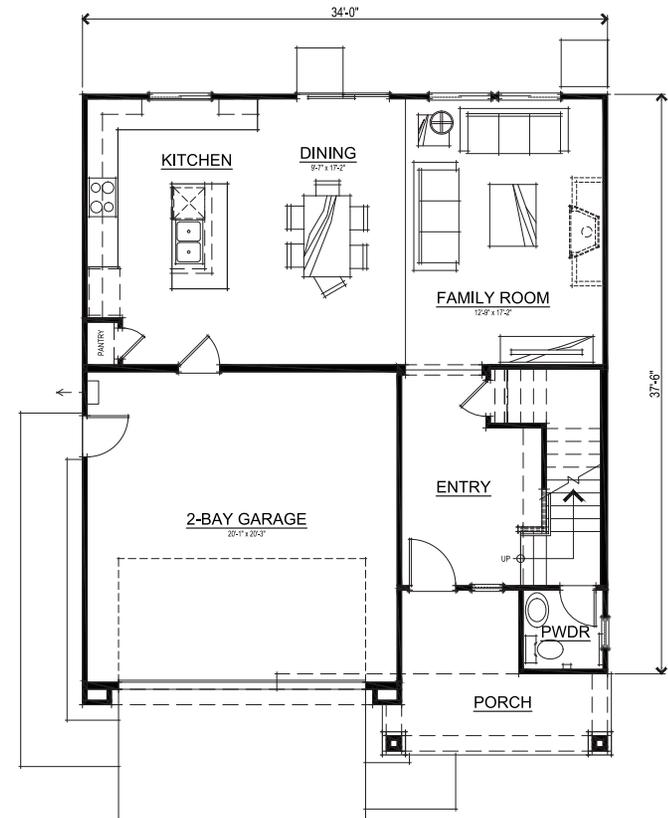
PLAN 2 ITALIANATE EXTERIOR ELEVATIONS  
A12

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SECOND FLOOR PLAN



FIRST FLOOR PLAN

SQUARE FOOTAGES	
FIRST FLOOR	831 SQ. FT.
SECOND FLOOR	1181 SQ. FT.
TOTAL LIVING	2012 SQ. FT.
2-BAY GARAGE	424 SQ. FT.
PORCH 'A'	112 SQ. FT.

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PLAN 3 FLOOR PLANS  
A13

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**EXTERIOR MATERIALS**

**SPANISH ELEVATION**

- CEMENT PLASTER FINISH
- CONCRETE S-TILE ROOFING
- CLAY TILE GABLE ACCENT
- DECORATIVE SHUTTERS
- WROUGHT IRON POTSHLF
- FOAM WINDOW TRIM
- DECORATIVE GARAGE DOOR

**CRAFTSMAN ELEVATION**

- CEMENT PLASTER FINISH
- FIBER CEMENT SHAKE SIDING
- COMP. SHINGLE ROOFING
- DECORATIVE CORBEL w/ KICKER
- FOAM WINDOW TRIM
- WOOD WINDOW TRIM
- CEMENT PLASTER PORCH COLUMNS
- DECORATIVE GARAGE DOOR

**ITALIANATE ELEVATION**

- CEMENT PLASTER FINISH
- STONE VENEER
- CONCRETE FLAT TILE ROOFING
- DECORATIVE SHUTTERS
- FOAM WINDOW TRIM
- DECORATIVE GARAGE DOOR



SPANISH



ITALIANATE



CRAFTSMAN

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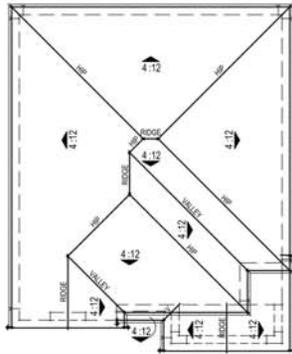
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PLAN 3 FRONT ELEVATIONS  
A14

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ROOF PLAN



REAR ELEVATION



RIGHT ELEVATION



LEFT ELEVATION

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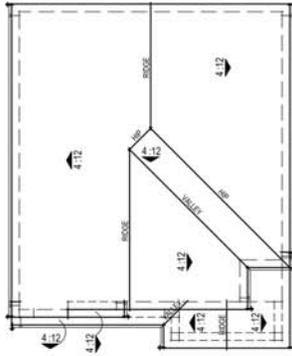


PLAN 3 SPANISH EXTERIOR ELEVATIONS

A15

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ROOF PLAN



REAR ELEVATION



RIGHT ELEVATION



LEFT ELEVATION

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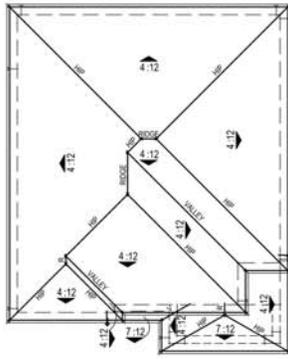


PLAN 3 CRAFTSMAN EXTERIOR ELEVATIONS

A16

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ROOF PLAN



REAR ELEVATION



RIGHT ELEVATION



LEFT ELEVATION



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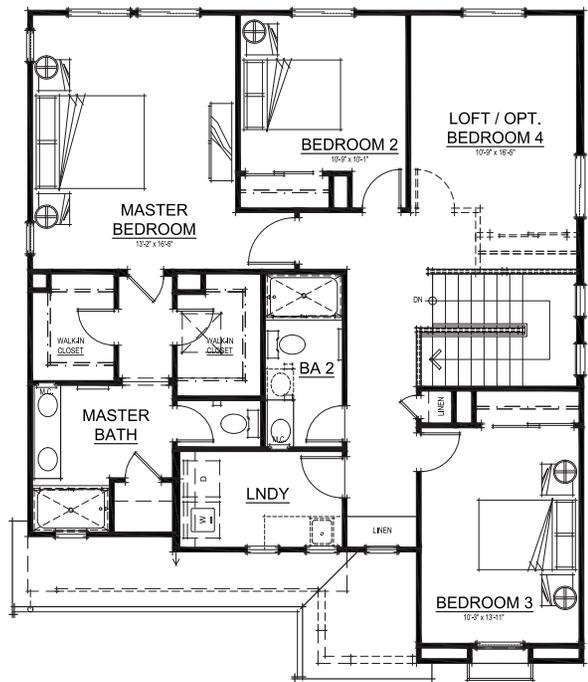
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PLAN 3 ITALIANATE EXTERIOR ELEVATIONS

A17

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SECOND FLOOR PLAN



FIRST FLOOR PLAN

SQUARE FOOTAGES	
FIRST FLOOR	957 SQ. FT.
SECOND FLOOR	1254 SQ. FT.
TOTAL LIVING	2211 SQ. FT.
2-BAY GARAGE	420 SQ. FT.
PORCH 'A'	46 SQ. FT.



**EXTERIOR MATERIALS**

SPANISH ELEVATION

CEMENT PLASTER FINISH  
 CONCRETE S-TILE ROOFING  
 CLAY TILE GABLE ACCENT  
 WROUGHT IRON POTSHELF  
 FOAM WINDOW TRIM  
 DECORATIVE GARAGE DOOR

CRAFTSMAN ELEVATION

CEMENT PLASTER FINISH  
 FIBER CEMENT SHAKE SIDING  
 COMP. SHINGLE ROOFING  
 DECORATIVE CORBEL w/ KICKER  
 FOAM WINDOW TRIM  
 WOOD WINDOW TRIM  
 DECORATIVE GARAGE DOOR

ITALIANATE ELEVATION

CEMENT PLASTER FINISH  
 STONE VENEER  
 CONCRETE FLAT TILE ROOFING  
 DECORATIVE SHUTTERS  
 FOAM WINDOW TRIM  
 DECORATIVE GARAGE DOOR



SPANISH



ITALIANATE



CRAFTSMAN

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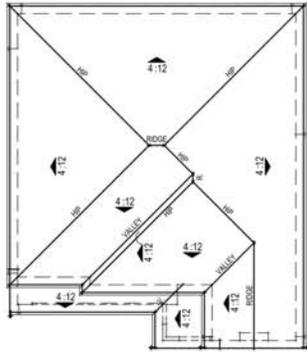
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PLAN 4 FRONT ELEVATIONS  
 A19

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ROOF PLAN



REAR ELEVATION



RIGHT ELEVATION



LEFT ELEVATION



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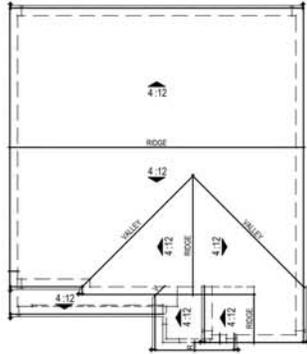
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PLAN 4 SPANISH EXTERIOR ELEVATIONS

A20

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ROOF PLAN



REAR ELEVATION



RIGHT ELEVATION



LEFT ELEVATION

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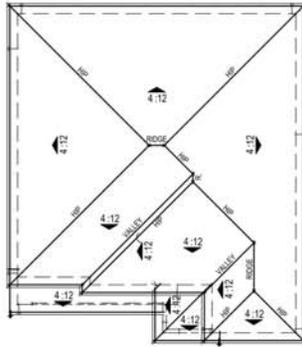


PLAN 4 CRAFTSMAN EXTERIOR ELEVATIONS

A21

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ROOF PLAN



REAR ELEVATION



RIGHT ELEVATION



LEFT ELEVATION



PLAN 4 ITALIANATE EXTERIOR ELEVATIONS

A22

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SPANISH  
COLOR SCHEME 1



**Roof**  
Boral Roofing  
HBCS 6464 - California Mission Blend



**Body 1 & Garage Door**  
SW 6119 Antique White  
(263-C6)



**Trim & Fascia**  
SW 7549 Studio Taupe  
(284-C5)



**Shutters & Entry Door**  
SW 2802 Rookwood Red  
(309)

SPANISH  
COLOR SCHEME 2



**Roof**  
Boral Roofing  
HBCS 6169 - Casa Grande Blend



**Body 1 & Garage Door**  
SW 7532 Urban Putty  
(285-C3)



**Trim & Fascia**  
SW 7568 Neutral Ground  
(261-C5)



**Shutters & Entry Door**  
SW 6209 Ripe Olive  
(J217-C7)

SPANISH  
COLOR SCHEME 3



**Roof**  
Boral Roofing  
HBCS 3270 - Tesoro Blend



**Body 1 & Garage Door**  
SW 6155 Rice Grain  
(210-C1)



**Trim & Fascia**  
SW 6152 Superior Bronze  
(207-C6)



**Shutters & Entry Door**  
SW 6251 Outerspace  
(225-C7)

CRAFTSMAN  
COLOR SCHEME 4



**Roof**  
Owens Corning  
Duration MAX® - Granite



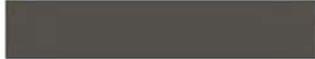
**Body 1**  
SW 6171 Chatroom  
(211-C3)



**Body 2 & Garage Door**  
SW 6172 Hardware  
(211-C5)



**Trim & Fascia**  
SW 6133 Muslin  
(263-C5)



**Shutters & Entry Door**  
SW 7048 Urban Bronze  
(245-C7)

CRAFTSMAN  
COLOR SCHEME 5



**Roof**  
Owens Corning  
Duration MAX® - Summerwood



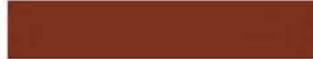
**Body 1**  
SW 2827 Colonial Revival Stone  
(312)



**Body 2 & Garage Door**  
SW 6103 Tea Chest  
(201-C6)



**Trim & Fascia**  
SW 6083 Sable  
(198-C7)



**Shutters & Entry Door**  
SW 2839 Roycroft Copper Red  
(313)

CRAFTSMAN  
COLOR SCHEME 6



**Roof**  
Owens Corning  
Duration MAX® - Mesquite



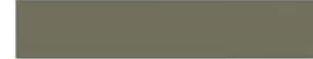
**Body 1**  
SW 7547 Sandbar  
(284-C2)



**Body 2 & Garage Door**  
SW 7633 Taupe Tone  
(249-C3)



**Trim & Fascia**  
SW 7567 Natural Tan  
(284-C1)



**Shutters & Entry Door**  
SW 2851 Sage Green Light  
(315)

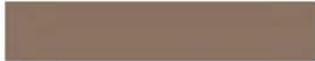
ITALIANATE  
COLOR SCHEME 7



**Roof**  
Boral Roofing  
FACS 1430 - Charcoal Blend



**Body 1 & Garage Door**  
SW 7519 Mexican Sand  
(288-C4)



**Trim & Fascia**  
7525 Tree Branch  
(288-C7)



**Shutters & Entry Door**  
SW 7675 Sealskin  
(277-C7)



**Culture Stone by BORAL**  
Bucks Country Country Ledge stone

ITALIANATE  
COLOR SCHEME 8



**Roof**  
Boral Roofing  
FACS 0330 - Appalachian Blend



**Body 1 & Garage Doors**  
SW 7037 Balanced Beige  
(249-C2)



**Trim & Fascia**  
SW 7039 Virtual Taupe  
(249-C5)



**Shutters & Entry Door**  
SW 7749 Laurel Woods  
(237-C7)



**Culture Stone by BORAL**  
Hudson Bay Country Ledge stone

ITALIANATE  
COLOR SCHEME 9



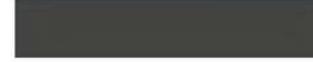
**Roof**  
Boral Roofing  
1ACS 1132 - Charcoal Brown Blend



**Body 1 & Garage Doors**  
SW 6102 Portabello  
(201-C5)



**Trim & Fascia**  
SW 6108 Latte  
(204-C3)



**Shutters & Entry Door**  
SW 7069 Iron Ore  
(251-C7)



**Culture Stone by BORAL**  
Aspen Country Ledge stone





# PLANT LIST

STREET TREES	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	
PS	PISTACIA CHINENSIS	CHINESE PISTACHE	24'80"	L [WUCOLS] [E]	
PLA	PLATANUS [COLUMBIA]	LONDON PLANE TREE	24'80"	M [WUCOLS] [E]	
TIL	TILIA CORDATA	LITTLELEAF LINDEN	24'80"	M [WUCOLS] [E]	
ULM	ULMUS PARVIFOLIA	CHINESE ELM	24'80"	M [WUCOLS] [E]	
ACCENT TREES	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	
CHI	[CHITALPA TASHKENTENSIS	CHITALPA	24'80"	L [WUCOLS] [E]	
COT	COTINUS COGGYGRIA [PURPUREUS]	SMOKE TREE	24'80"	L [WUCOLS] [E]	
DOD	DODONAEA [SCOSA] [PURPUREA]	PURPLE LEAFED HOPSEED BUSH	24'80"	L [WUCOLS] [E]	
LAG	LAGERSTROEMIA [TUSCARORA]	CRAPE MYRTLE CORAL PINK	24'80"	L [WUCOLS] [E]	
PHO	PHOTINIA [FRASERI STANDARD	PHOTINIA	24'80"	M [WUCOLS] [E]	
RHA	RHAPHOLEPIS [MAJESTIC BEAUTY]	MAGESTIC BEAUTY INDIAN HAWTHORN	24'80"	L [WUCOLS] [E]	
FOUNDATION SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	SPACING
BG	BU [US SEMPER]IRENS [GRAHAM BLANDY]	GRAHAM BLANDY ENGLISH BO[WOOD	15 GAL	M [WUCOLS] [E]	24' o [E]
BU	BU [US] [GREEN MOUNTAIN]	BO[WOOD	15 GAL	M [WUCOLS] [E]	36' o [E]
CK	CALAMAGROSTIS [ACUTIFLORA [KARL FOERSTER]	FEATHER REED GRASS	1 GAL	M [WUCOLS] [E]	36' o [E]
CC	CARPENTERIA CALIFORNICA	BUSH ANEMONE	1 GAL	M [WUCOLS] [E]	48' o [E]
CH	CHARAETYPARIS LAWSONIANA [BLUE SURPRISE]	POINT OXFORD CEDAR	15 GAL	M [WUCOLS] [E]	24' o [E]
CR	COPROSMA REPENS [RAINBOW SURPRISE]	RIBBON PLANT	5 GAL	M [WUCOLS] [E]	48' o [E]
D]	DIETES GRANDIFLORA [ARIEGATA]	STRIPED FORTNIGHT LILY	5 GAL	L [WUCOLS] [E]	36' o [E]
DI	DIETES [EGETA	AFRICAN IRIS	5 GAL	L [WUCOLS] [E]	48' o [E]
EG	EUONYMUS FORTUNEI [EMERALD GAIEITY]	EMERALD GAIEITY EUONYMUS	5 GAL	M [WUCOLS] [E]	36' o [E]
FM	FESTUCA MAIRE	ATLAS FESCUE	1 GAL	L [WUCOLS] [E]	36' o [E]
FC	FRANGLULA CALIFORNICA [MOUND SAN BRUNO]	CALIFORNIA BUCKTHORN	5 GAL	L [WUCOLS] [E]	60' o [E]
LS	LIGUSTRUM SINENSE [SUNSHINE]	SUNSHINE LIGUSTRUM	5 GAL	L [WUCOLS] [E]	36' o [E]
LB	LOMANDRA LONGIFOLIA [BREEZE]	DWARF MAT RUSH	5 GAL	L [WUCOLS] [E]	30' o [E]
LP	LOMANDRA LONGIFOLIA [PLATINUM BEAUTY]	MAT RUSH	5 GAL	L [WUCOLS] [E]	30' o [E]
TC	TEUCRIUM FRUTICANS [COMPACTA]	BUSH GERMANDER	5 GAL	L [WUCOLS] [E]	36' o [E]
ACCENT SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	SPACING
C]	COPROSMA KIRKII [ARIEGATA]	CREeping MIRROR PLANT	1 GAL	L [WUCOLS] [E]	36' o [E]
CP	CISTUS PUL[ERULENTUS [SUNSET]	ROCKROSE	1 GAL	L [WUCOLS] [E]	30' o [E]
EK	ERIGERON KAR[INSKIANUS	FLEABANE	1 GAL	L [WUCOLS] [E]	30' o [E]
ER	ERIOGONUM GRANDE RUBESCENS	RED BUCKWHEAT	1 GAL	L [WUCOLS] [E]	18' o [E]
EB	EUONYMUS FORTUNEI [HARLE] UNN]	HARLE] UNN EUONYMUS	1 GAL	M [WUCOLS] [E]	18' o [E]
LI	LIRIOPE MUSCARI [SIL[ERY SUNPROOF]	SIL[ERY SUNPROOF BLUE LILY TURP	1 GAL	M [WUCOLS] [E]	24' o [E]
SH	SAL[IA LEUCANTHA [SANTA BARBARA]	ME]ICAN BUSH SAGE	5 GAL	L [WUCOLS] [E]	36' o [E]
STORM WATER SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	SPACING
CT	CHONDRROPETALUM TECTORUM	CAPE RUSH	1 GAL	L [WUCOLS] [E]	36' o [E]
JP	JUNCUS PATENS	CALIFORNIA GRAY RUSH	1 GAL	L [WUCOLS] [E]	30' o [E]
LC	LEYMUS CONDENSATUS [CANYON PRINCE]	HAT[IE BLUE RYE	1 GAL	L [WUCOLS] [E]	36' o [E]
MR	MUHLENBERGIA RIGENS	DEER GRASS	1 GAL	L [WUCOLS] [E]	48' o [E]

**WATER USE RATING LEGEND:**  
WUCOLS III CATEGORIES OF WATER NEEDS FROM: UN[ER]SITY OF CALIF. COOPERATI[E E] TENSION, CALIF. DEPARTMENT OF WATER RESOURCES, U.S. BUREAU OF RECLAMATION  
H = HIGH  
M = MODERATE  
L = LOW  
[L] = [ERY LOW

## STREET TREES



PISTACIA CHINENSIS PLATANUS [ACERIFOLIA TILIA CORDATA ULMUS PARVIFOLIA [COLUMBIA]

## ACCENT TREES



[CHITALPA TASHKENTENSIS COTINUS COGGYGRIA [PURPUREUS] DODONAEA [PURPUREA] LAGERSTROEMIA [TUSCARORA] PHOTINIA [FRASERI RHAPHIOLEPIS [MAJESTIC BEAUTY]

## FOUNDATION SHRUBS



BU [US SEMPER]IRENS [GRAHAM BLANDY] BU [US] [GREEN MOUNTAIN] CALAMAGROSTIS [ACUTIFLORA [KARL FOERSTER] CARPENTERIA CALIFORNICA CHARAETYPARIS LAWSONIANA [BLUE SURPRISE]



COPROSMA REPENS [RAINBOW SURPRISE] DIETES GRANDIFLORA [ARIEGATA] DIETES [EGETA] EUONYMUS FORTUNEI [EMERALD GAIEITY] FESTUCA MAIREI



FRANGLULA CALIFORNICA [MOUND SAN BRUNO] LIGUSTRUM SINENSE [SUNSHINE] LOMANDRA LONGIFOLIA [BREEZE] LOMANDRA LONGIFOLIA [PLATINUM BEAUTY] TEUCRIUM FRUTICANS [COMPACTA]

## ACCENT SHRUBS



COPROSMA KIRKII [ARIEGATA] CISTUS PUL[ERULENTUS [SUNSET] ERIGERON KAR[INSKIANUS



ERIOGONUM GRANDE RUBESCENS EUONYMUS FORTUNEI [HARLE] UNN] LIRIOPE MUSCARI [SIL[ERY SUNPROOF]



LEYMUS CONDENSATUS [CANYON PRINCE] MUHLENBERGIA RIGENS

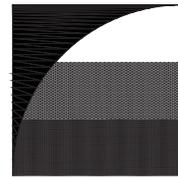
## STORM WATER SHRUBS



CHONDRROPETALUM TECTORUM JUNCUS PATENS



LEYMUS CONDENSATUS [CANYON PRINCE] MUHLENBERGIA RIGENS



**GATES + ASSOCIATES**  
LANDSCAPE ARCHITECTURE  
LAND PLANNING + URBAN DESIGN  
2671 CROW CANYON RD. SAN RAMON, CA 94583  
T 925.734.8110 www.gatesinc.com

**SHILOH ENTITLEMENT SET**  
OAKLEY CALIFORNIA

ISSUE: DESCRIPTION: DATE:

**NOT FOR CONSTRUCTION**

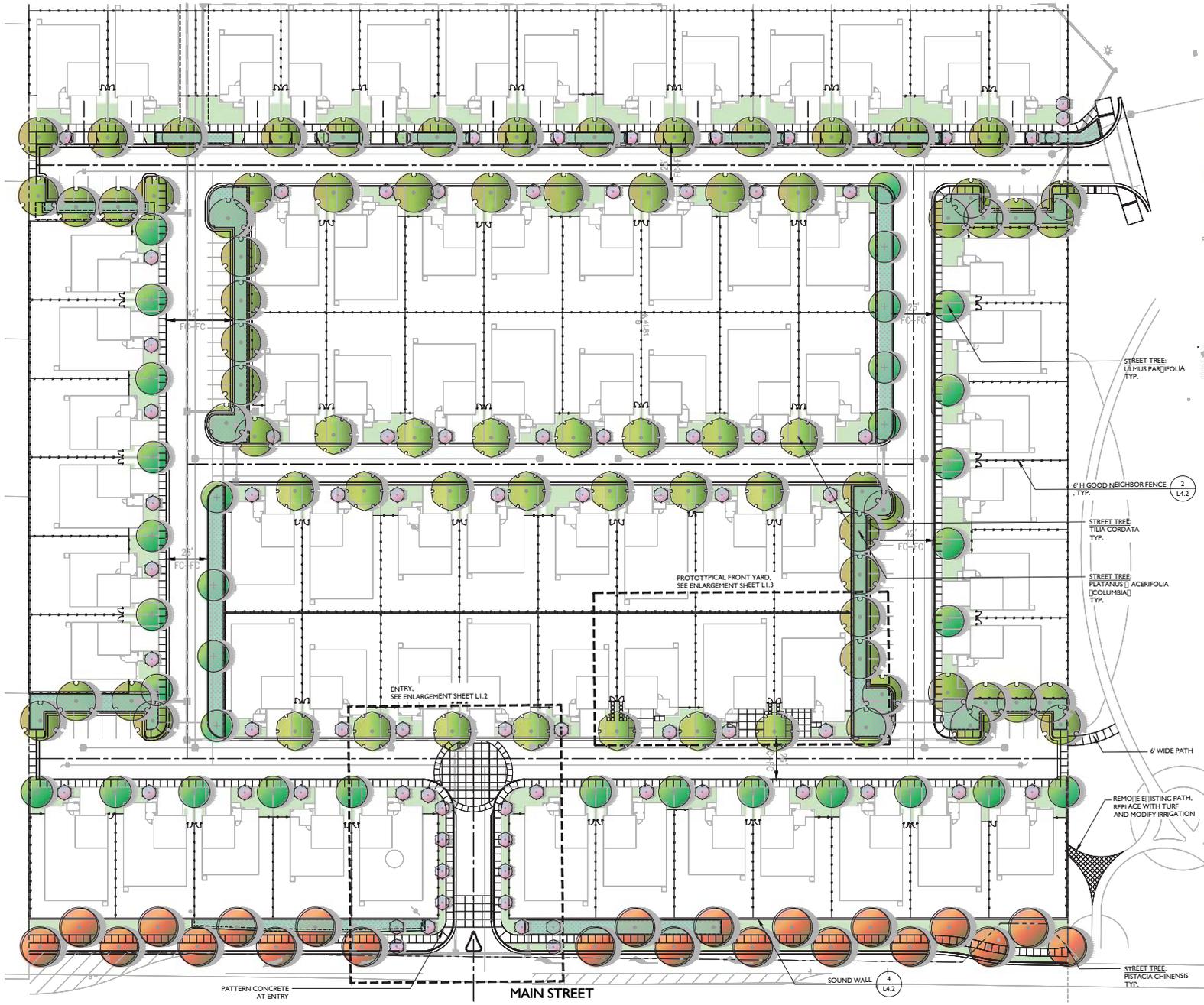


PROJECT NUMBER: 5412 #  
DRAWN: LMITZ  
CHECK: EG  
DATE: 02/27/2019  
SCALE:



**PLANT PALETTE**

**L1.1**

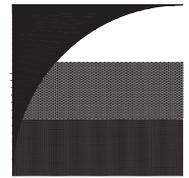


**PLANT LEGEND**

-  ULMUS PARVIFOLIA
-  TILIA CORDATA
-  PLATANUS [ACERIFOLIA [COLUMBIA]]
-  PISTACIA CHINENSIS
-  ACCENT TREES:  
 [CHITALPA TASHKENTENSIS]  
 [CHITALPA COTINUS COGGYGRIA [PURPUREUS]]  
 [DODONAEA [SCOSA [PURPUREA]]]  
 [LAGERSTROEMIA [TUSC-ARORA]]  
 [PHOTINIA [FRASERI]]  
 [RHAPHILOLEPIS [MAJESTIC BEAUTY]]
-  STORM WATER ZONES, S.C.D.

**LAYOUT LEGEND**

-  6' H GOOD NEIGHBORHOOD FENCE TYP. (2 L4.2)
-  SOUND WALL PFR, AMERICAN PRECAST MODEL: STACK STONE WALL (5 L4.2)



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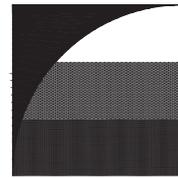


PROJECT NUMBER: 5412 #  
 DRAWN: LHMZ  
 CHECK: EG  
 DATE: 02/27/2019  
 SCALE:



**OVERALL TREE AND FENCING PLAN**

**L2.0**



# GATES + ASSOCIATES

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## SHILOH ENTITLEMENT SET

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ISSUE: DESCRIPTION: DATE:

NOT FOR CONSTRUCTION



PROJECT NUMBER: 5412 #  
DRAWN: LMTZ  
CHECK: EG  
DATE: 02/27/2019  
SCALE: 1" = 10'-0"



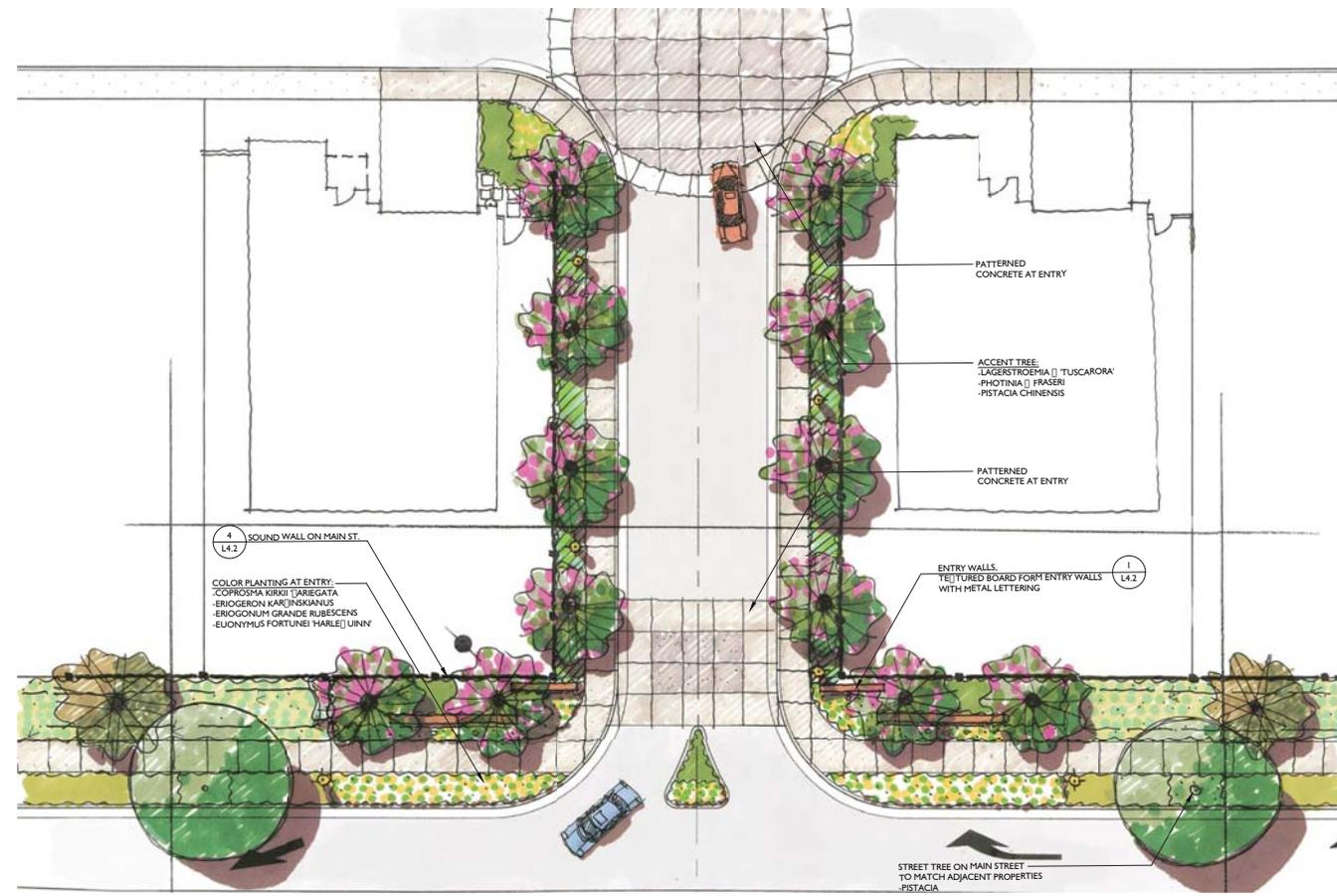
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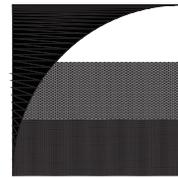
# L2.1

of -



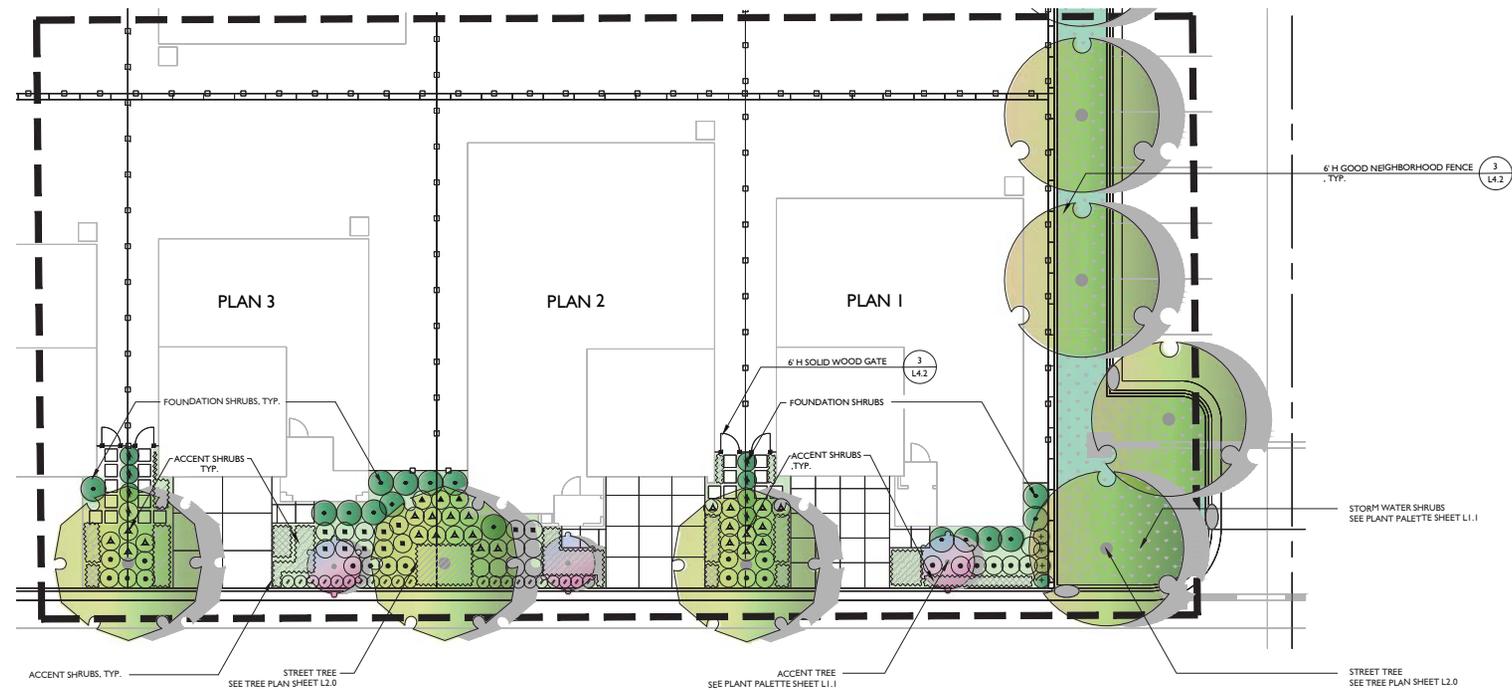
### ENTRY ELEVATION:





**GATES**  
**+ASSOCIATES**  
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 2671 CROW CANYON RD. SAN RAFAEL, CA 94983  
 T 925.726.8870 www.gatesplus.com

**SHILOH**  
**ENTITLEMENT**  
**SET**  
 OAKLEY  
 CALIFORNIA



ISSUE:      DESCRIPTION:      DATE:

**NOT FOR CONSTRUCTION**

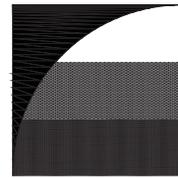


PROJECT NUMBER:      5412 #  
 DRAWN:                    LMITZ  
 CHECK:                    EG  
 DATE:                      02/27/2019  
 SCALE:                     1" = 10'-0"



PROTOTYPICAL  
 FRONT YARD

**L3.1**



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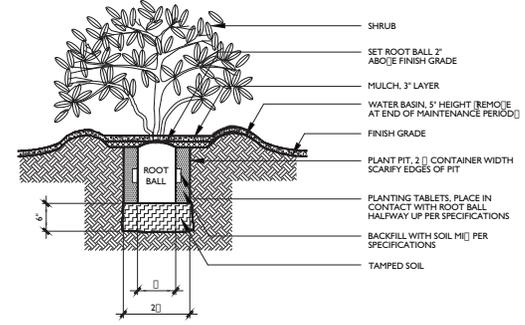


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 DATE: 02/27/2019  
 SCALE:

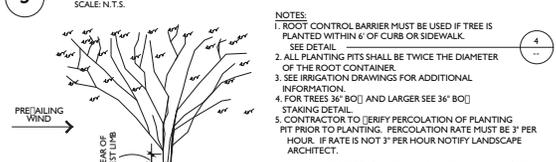


**PLANTING DETAILS**

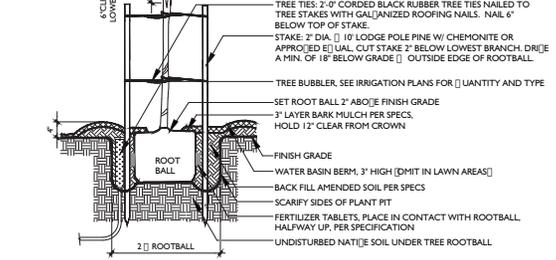
**L4.1**



**3 SHRUB PLANTING**



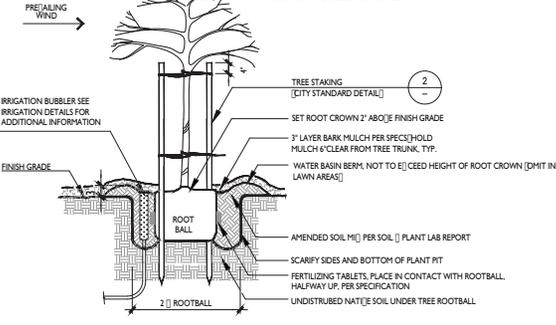
- NOTES:  
 1. ROOT CONTROL BARRIER MUST BE USED IF TREE IS PLANTED WITHIN 6' OF CURB OR SIDEWALK. SEE DETAIL.  
 2. ALL PLANTING PITS SHALL BE TWICE THE DIAMETER OF THE ROOT CONTAINER.  
 3. SEE IRRIGATION DRAWINGS FOR ADDITIONAL INFORMATION.  
 4. FOR TREES 36" BO" AND LARGER SEE 36" BO" STAKING DETAIL.  
 5. CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO PLANTING. PERCOLATION RATE MUST BE 3" PER HOUR. IF RATE IS NOT 3" PER HOUR NOTIFY LANDSCAPE ARCHITECT.



**2 TREE STAKING DETAIL**

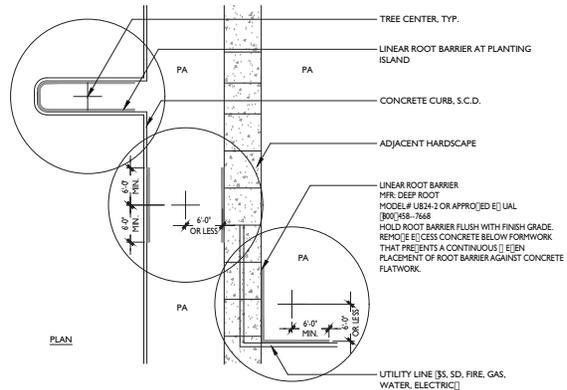
SCALE: 3/8" = 1'-0"

- NOTES:  
 1. ROOT CONTROL BARRIER MUST BE USED IF TREE IS PLANTED WITHIN 5' OF CURB OR SIDEWALK. SEE DETAIL THIS SHEET.  
 2. CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO PLANTING. PERCOLATION RATE MUST BE 3" PER HOUR. IF RATE IS NOT A MIN. OF 3" PER HOUR NOTIFY LANDSCAPE ARCHITECT.



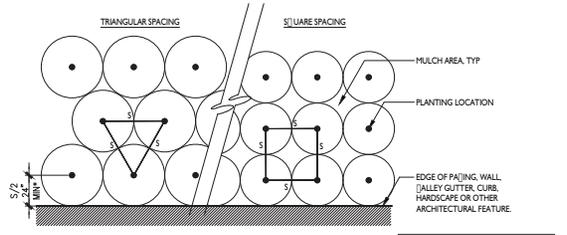
**1 TREE PLANTING**

SCALE: 3/8" = 1'-0"



**5 LINEAR ROOT BARRIER**

SCALE: 1" = 10'-0"

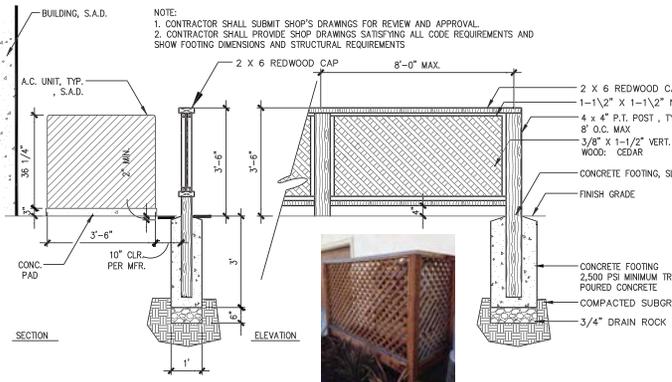


- NOTES:  
 A. S = PLANT SPACING DISTANCE ON CENTER, SEE CHART.  
 B. FOR USE AS A GUIDE FOR SHRUBS AND GROUNDCOVER WHEN AT ALL SHRUB AND GROUNDCOVER LOCATIONS WHERE SPRAY IRRIGATION IS USED. HOLD PLANTING 24" CLEAR OF CURB LINE IN CONJUNCTION WITH IRRIGATION PER AB 1891.

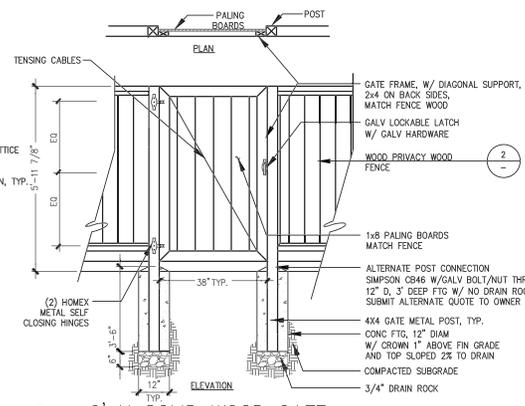
SPACING	# of PLANTS PER 10' x 10' AREA
6" o.c.	4.00
8" o.c.	2.40
12" o.c.	1.15
18" o.c.	.512
24" o.c.	.290
30" o.c.	.185
36" o.c.	.128
42" o.c.	.087
48" o.c.	.063

**4 PLANT SPACING**

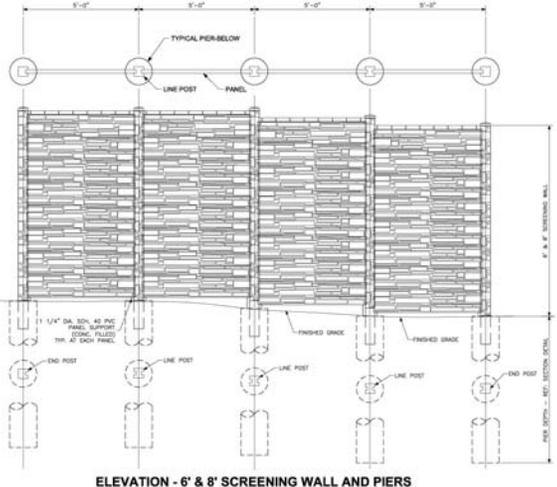
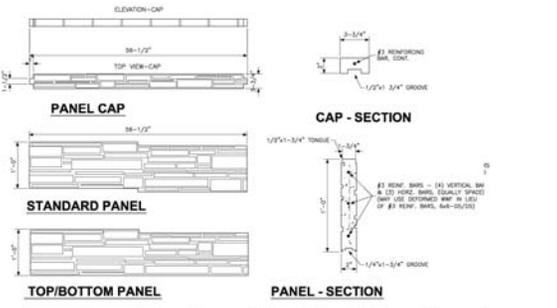
SCALE: 1" = 1'-0"



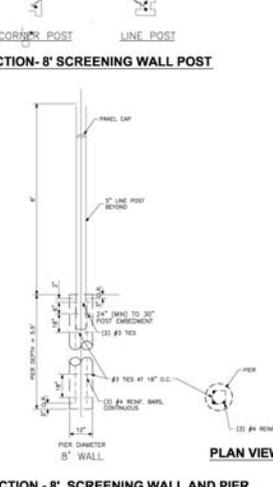
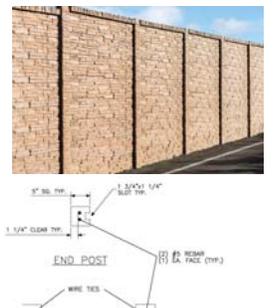
5 AC UNIT SCREEN FENCE  
 SCALE: 1/2" = 1'-0"



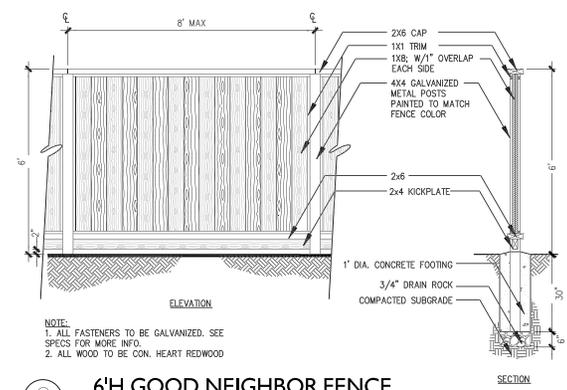
3 6' H SOLID WOOD GATE  
 SCALE: N.T.S.



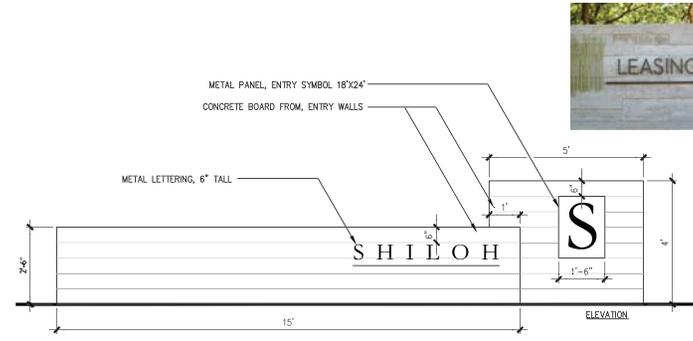
4 SOUND WALL  
 SCALE: 3/8" = 1'-0"



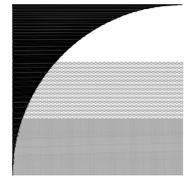
SECTION - 8' SCREENING WALL AND PIER



2 6'H GOOD NEIGHBOR FENCE  
 SCALE: 1/2" = 1'-0"



1 ENTRY WALLS  
 SCALE: 1/2" = 1'-0"



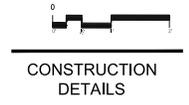
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**SHILOH ENTITLEMENT SET**  
 OAKLEY CALIFORNIA

ISSUE: DESCRIPTION: DATE:

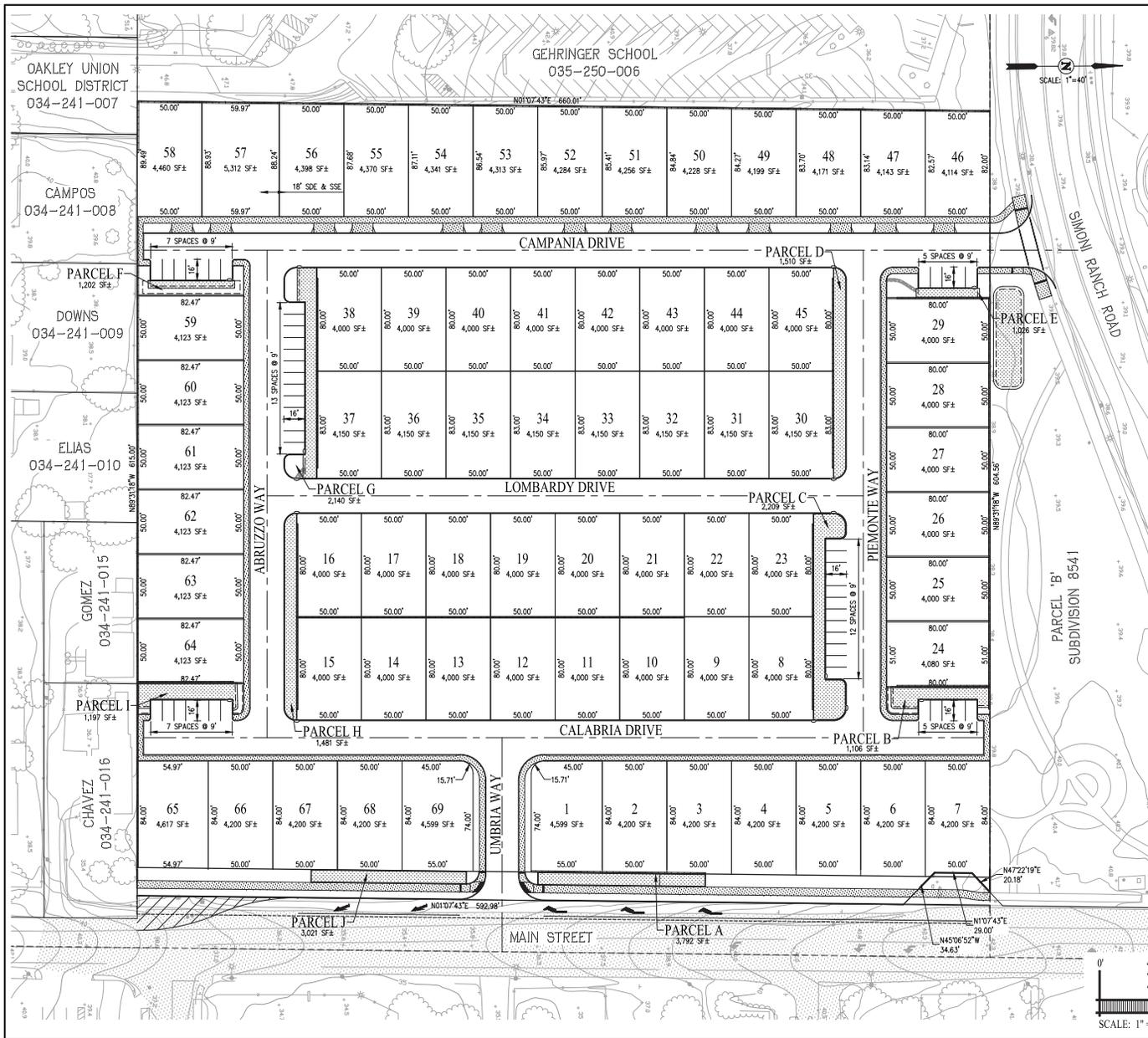
**NOT FOR CONSTRUCTION**

PROJECT NUMBER: #5411  
 DRAWN: LMTZ  
 CHECK: EG  
 DATE: 04/18/2019  
 SCALE:



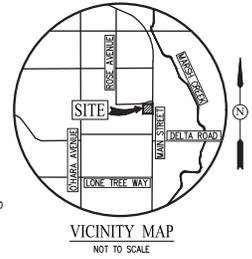
**CONSTRUCTION DETAILS**

L4.2



**GENERAL NOTES:**

- OWNER/DEVELOPER: KB HOME  
5000 EXECUTIVE PARKWAY, SUITE 125  
SAN RAMON, CA 94583
- APPLICANT: KB HOME  
5000 EXECUTIVE PARKWAY, SUITE 125  
SAN RAMON, CA 94583
- CIVIL ENGINEER: CARLSON, BARBEE & GIBSON, INC.  
2633 CAMINO RAMON, SUITE 350  
SAN RAMON, CA 94583  
(925) 866-0322  
LEW CARPENTER, C.E.
- GEOTECHNICAL ENGINEER: ENCOE, INC.  
2010 CROW CANYON PLACE, SUITE 250  
SAN RAMON, CA 94583  
(925) 866-9000
- LAND AREA SUMMARY:  
LOT AREA = 6.57 AC  
PARCELS = 0.43 AC  
IN-TRACT STREETS = 2.29 AC  
TOTAL AREA = 9.29 AC
- TOTAL NUMBER OF LOTS = 69 LOTS
- DENSITY = 7.43 D.U. / GROSS ACRE
- LAND USE: EXISTING - AGRICULTURAL  
PROPOSED - SINGLE FAMILY RESIDENTIAL
- ZONING: P-1 (SINGLE FAMILY RESIDENTIAL, PLANNED DISTRICT)
- GENERAL PLAN: ML (MULTI-FAMILY RESIDENTIAL, LOW DENSITY)
- UTILITIES: WATER: DIABLO WATER DISTRICT  
SEWER: RICHHOUSE SANITARY DISTRICT  
GAS & ELECTRIC: PACIFIC GAS AND ELECTRIC  
TELEPHONE: AT&T
- PROJECT SITE APN: 034-250-011
- MULTIPLE FINAL MAPS MAY BE FILED ON THE LANDS SHOWN ON THIS MAP.
- ALL TREES, FENCES AND BUILDINGS WITHIN THE DEVELOPED AREAS TO BE REMOVED.
- FLOOD ZONE INFORMATION: FLOOD ZONE X PER FLOOD INSURANCE RATE MAP  
PANEL: 0607860356A  
DATE: FEBRUARY 2, 2002  
ZONE X: AREAS OUTSIDE OF THE 100-YEAR FLOODPLAIN

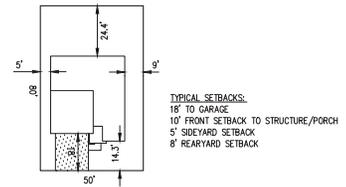
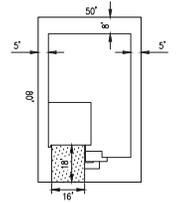


**LOT SUMMARY**

AVERAGE LOT SIZE:	4,148 SF
MINIMUM LOT SIZE:	4,000 SF
MAXIMUM LOT SIZE:	5,312 SF

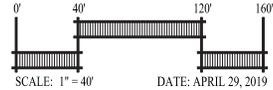
**PARKING SUMMARY**

TOTAL PARKING SPACES:	49 SPACES
-----------------------	-----------



**SHILOH PROPERTY**  
**DIMENSION PLAN**  
**SUBDIVISION 8975**

CITY OF OAKLEY    CONTRA COSTA COUNTY    CALIFORNIA



DATE: APRIL 29, 2019

**cbg** CIVIL ENGINEERS    SURVEYORS    PLANNERS

SAN RAMON    (925) 866-0322  
SACRAMENTO    (916) 375-1877  
WWW.CBGANDG.COM

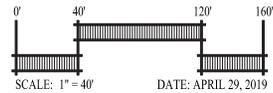
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**1**  
OF 3 SHEETS

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# SHILOH PROPERTY EXISTING CONDITIONS SUBDIVISION 8975

CITY OF OAKLEY CONTRA COSTA COUNTY CALIFORNIA



DATE: APRIL 29, 2019



SAN RAMON (925) 866-0322  
 SACRAMENTO (916) 375-1877  
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CIVIL ENGINEERS SURVEYORS PLANNERS

SHEET NO.  
**2**  
 OF 3 SHEETS

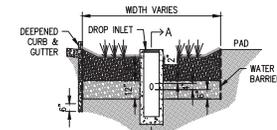
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**LEGEND**

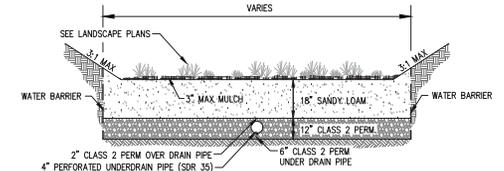
- DMA BOUNDARY
- BIO-RETENTION AREA
- DRAINAGE MANAGEMENT AREA
- INTEGRATED MANAGEMENT PRACTICE - BIORETENTION AREA

DRAINAGE MANAGEMENT AREA SUMMARY					
DMA	IMPERVIOUS AREA (SF)	LANDSCAPE AREA (SF)	EFFECTIVE IMPERVIOUS AREA (SF)	TREATMENT AREA REQUIRED (SF)	TREATMENT AREA PROVIDED (SF)
1	9,117	5,755	9,693	388	455
2	32,150	31,044	35,255	1,411	1,448
3	24,156	18,151	25,971	1,039	1,081
4	26,050	17,919	27,842	1,114	1,942
5	25,332	18,384	27,170	1,087	1,540
6	7,284	2,423	7,526	301	917
7	23,041	14,545	24,496	980	1,481
8	27,443	16,932	29,136	1,165	2,014
9	21,989	13,917	23,381	935	950
10	21,307	14,848	22,792	912	1,075
11	25,427	17,950	27,222	1,089	1,116
TOTAL	243,296	171,268	243,296	10,419	14,019



**BIO-RETENTION AREA NOTES:**  
 1. SANDY LOAM SOIL MIX SHALL HAVE MINIMUM LONG TERM PERCOLATION RATE OF 5"/HOUR.

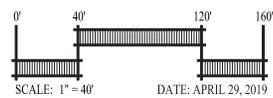
TYPICAL BIO RETENTION AREA  
NOT TO SCALE



SECTION A-A  
NOT TO SCALE

# SHILOH PROPERTY STORMWATER CONTROL PLAN SUBDIVISION 8975

CITY OF OAKLEY CONTRA COSTA COUNTY CALIFORNIA



DATE: APRIL 29, 2019



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SHEET NO.  
**3**  
OF 3 SHEETS

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