



## RESIDENTIAL ADDITION PLAN SUBMITTAL REQUIREMENTS

### **Before Submittal please contact:**

**City of Oakley Planning Department:** Before starting your project, you are encouraged to check with the Planning Department [925-625-7000](tel:925-625-7000) [planninggroup@ci.oakley.ca.us](mailto:planninggroup@ci.oakley.ca.us) for applicable zoning regulations.

**Contra Costa County Public Works Drainage Fees-** [FeeCollection@pw.cccounty.us](mailto:FeeCollection@pw.cccounty.us), [925-646-1269](tel:925-646-1269) for properties wanting to build accessory structures, pools, residential units etc. Please verify if any drainage fees are due or not and submit to the Building Department at time of plan submittal.

**Contra Costa Environmental Health [925-608-5500](tel:925-608-5500):** Approval stamp is required for properties that have septic tanks. Copy of approval needs to be turned in to the Building Department at time of plan submittal.

**Iron House Sanitary District [ironhousesd@isd.us.com](mailto:ironhousesd@isd.us.com) [925-625-2279](tel:925-625-2279)** for any projects with new plumbing additions, kitchen, bathrooms, sinks etc... need to obtain approval from Iron house Sanitary and submit copy of their approval to the Building Department.

### **Plan requirements for residential additions:**

**Preliminary Title Report:** A copy of the property's preliminary title report, usually available from your title company and should be submitted along with the plans and permit application for all accessory structures.

After checking with the above agencies and obtaining the necessary approvals, below are the requirements to follow to submit to the Building Department to obtain a Building permit. All permits will be processed electronically, email: **permit application, plans, approvals from outside agencies noted on top** and **Preliminary Title report** to: [inspections@ci.oakley.ca.us](mailto:inspections@ci.oakley.ca.us)

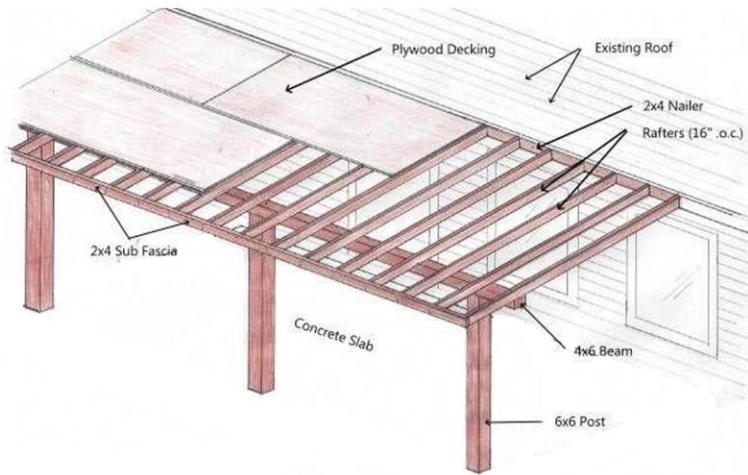
1. **A plot plan:** An aerial view of the entire existing property which includes property lines, the position and dimensions of all existing structures, location of septic systems and easements, and the position and dimensions of the proposed new addition. Include all property line setbacks (in feet and inches), the property owner's name, phone number, and the project address.
2. **A floor plan:** Include the floor plans of existing floors and the proposed addition. Include existing interior and exterior walls, proposed new addition walls, and any existing walls

that will be removed or relocated. Include the use of all the rooms and the location, sizes, and types of all windows and doors (i.e. single hung, sliding, fixed etc.).

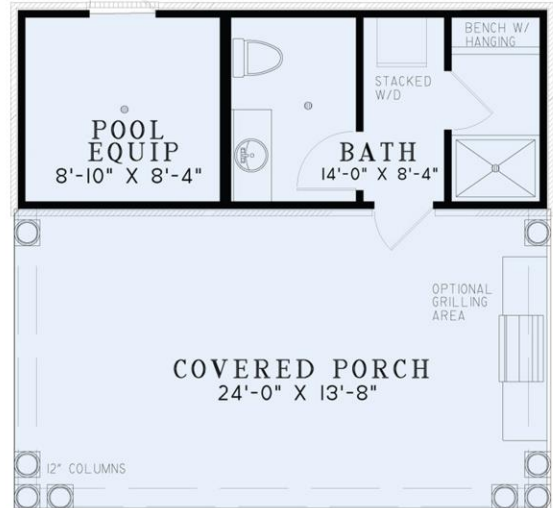
3. **A foundation plan:** Include an overhead view and an elevation view of the proposed slab or raised floor foundations with details and dimensions of footings, concrete reinforcement, and the location of shear walls, hold downs, and posts and girders with subfloor (for raised floor foundations).
4. **A framing plan:** The framing plan includes the general information on the size, type and spacing of lumber and specific information on structural members such as beams, columns, floor trusses etc. Include information on the size and spacing of fasteners, the type and location of hardware, R value of insulation, the drywall, and the exterior sheathing and wall finish.
5. **A roofing plan:** Provide information about the size and spacing of roof rafters, ceiling joists, bracing, sheathing and roof coverings. When trusses are installed, provide two wet stamped sets of engineered truss calculations to the Building Department prior to the roof and shear inspection. Include additional information about attic venting, hardware connections, attic insulation, attic access openings, and HVAC located in the attic.
6. **Electrical, Mechanical and Plumbing:** Generally included on the floor plan or a separate utility floor plan; show the location of all electrical outlets, fixed lighting, electrical subpanels, heat registers, plumbing fixtures, smoke detectors, CO detectors, etc.
7. **Lot Coverage:** In order for the Planning Department to approve the building permit, you must submit the existing and proposed total lot coverage percentage. Lot coverage is obtained by taking the square footage of all covered structures on the lot (Ex. The main home, patio covers, covered porches, tool sheds, other accessory structures, etc.), regardless if they required a permit, and dividing the lot size into that number. With two or more story structures, use the footprint only. A maximum of 40% lot coverage or a maximum total addition of 500 sf. of attached and detached accessory structures is allowed, whichever is greater. **(Ex. 6,000 sf. lot. with a 1,600 sf. house footprint. Adding a 500 sf. detached garage.  $(1,600 + 500) / 6,000 = 2,100 / 6,000 = .35$  or 35% lot coverage.)** In addition, an accessory structure shall occupy no more than thirty percent (30%) of a required side and/or rear yard. Please contact the Planning Department to learn more about maximum lot coverage and maximum required yard coverage.
8. **Calculations:** Provide compliance documentation prepared by a qualified design professional to indicate that the building and addition complies the 2022 California Energy Code. Provide structural calculations (wet stamped and signed) prepared by a structural engineer unless the plans clearly indicate compliance with section 2308 (Conventional Light-Frame Construction) of the 2022 California Building Code.
9. **Notes:** After July 1, 2011, newly installed electrical receptacles must be tamper resistant, carbon monoxide (CO) detector must be located on each floor, and arc fault circuit protection has been expanded to include all rooms except kitchens, bathrooms, garages and laundry rooms. Automatic sprinklers are not required for additions when the original dwelling was not equipped with sprinklers.

Below find examples of what your plans should look like:

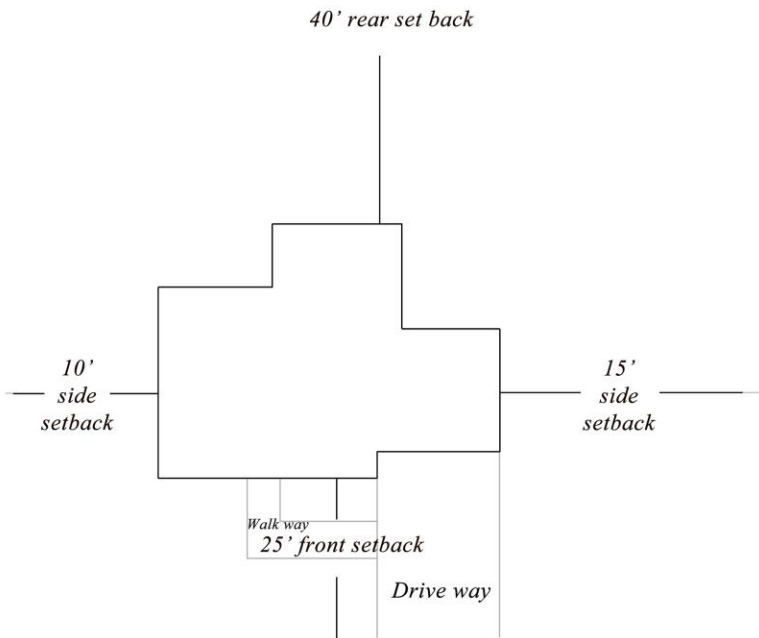
## Roof Plan



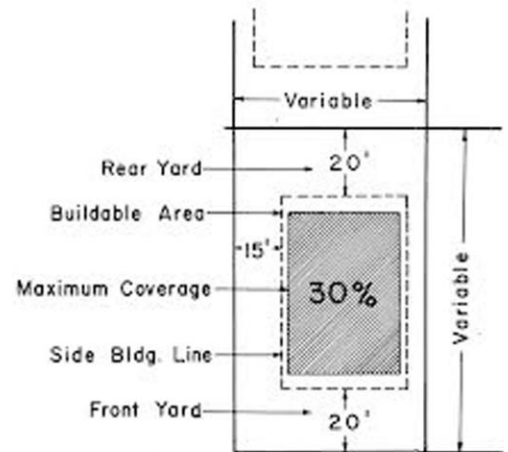
## Floor Plan



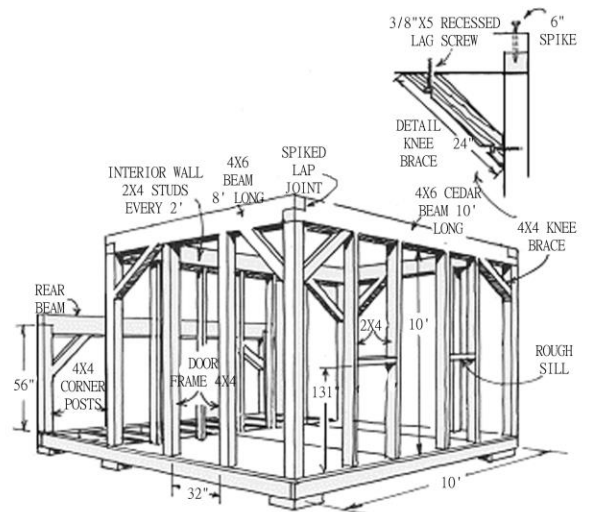
## Plot Plan



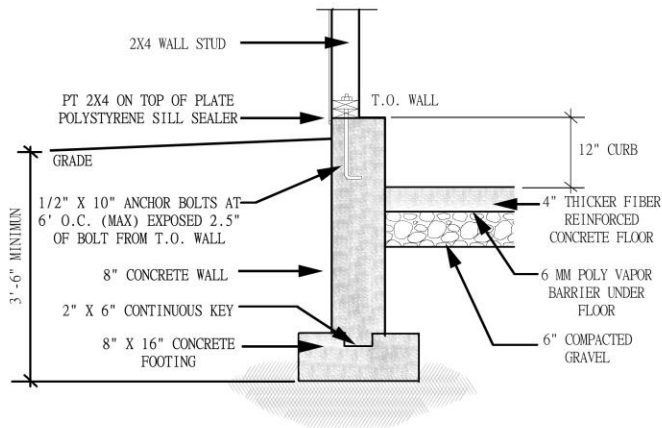
## Lot Coverage



## Framing plan



## Foundation Plan



For more information regarding accessory structures, please visit Oakley Municipal Code section 9.1.1802. The Municipal Code is available on the home page of Oakley's website, located at [www.oakleyinfo.com](http://www.oakleyinfo.com).